

AGENDA

ELKHART COUNTY PLAN COMMISSION

September 12, 2024
9:30A.M.

ADMINISTRATION BUILDING
MEETING ROOMS 104, 106, & 108
117 N. 2nd STREET, GOSHEN, INDIANA

Call to Order

Roll Call

Approval of the minutes of the last regular meeting of the Elkhart County Plan Commission held on the 8th day of August 2024.

Acceptance of the Elkhart County Development Ordinance, and Staff Report materials as evidence for today's hearings.

VACATION

9:30 A.M.

(MILLER)

- A. Petitioner: Axius Realty Middlebury LLC **(page 5)**
represented by Structure Point
Petition: for the vacation of an east/west town right-of-way known as Bradley Street.
Location: southwest corner of Pleasant St. & N. Main St., 30 ft. west of Main St.,
common address of 211 N. Main St. in Middlebury Township.
(VRW-0553-2024)

REZONINGS

- B. Petitioner: Aurelio C. & Lucia Valle Montufar Barrera **(page 6)**
Petition: for a zone map change from R-1 to A-1.
Location: north side of Cr 108. 1,945 ft. east of CR 101. , common address of 29379 CR
108 in Cleveland Township. (RZ-0518-2024)
- C. Petitioner: Jolene M. Weaver **(page 7)**
Petition: for a zone map change from R-1 to R-2.
Location: southeast corner of CR 40 and SR 15, common address of 18884 CR 40 in
Elkhart Township. (RZ-0525-2024)
- D. Petitioner: James Leroy & Dawn R. Wise, Husband & Wife **(page 8)**
Petition: for a zone map change from PUD M-1 to A-1.
Location: southwest corner of CR 17 and US 6, common address of 72057 CR 17 in
Jackson Township. (RZ-0536-2024)

DETAILED PLANNED UNIT DEVELOPMENT AMENDMENT

E. Petitioner: Giada Holdings, LLC (page 9)
Petition: for an amendment to an existing DPUD B-3 known as **CR 10 MINI STORAGE MINOR DPUD AMENDMENT LOT 1.**
Location: north side of CR 10, 3,250 ft. west of John Weaver Parkway, common address of 28443 CR 10 in Cleveland Township. (DPUD-0552-2024)

DETAILED PLANNED UNIT DEVELOPMENT

F. Petitioner: George E. Vernasco & David Vernasco (Seller) (page 10)
represented by Insite Real-Estate Investment Properties, LLC (Buyer)
Petition: for a zone map change from B-1/B-3 to DPUD B-3 and for primary approval of a 1-lot minor subdivision to be known as **ALDI FOOD MARKET DPUD.**
Location: southeast corner of Corwin St. and Old US 20, common address of in Cleveland Township. (DPUD-0554-2024)

PUBLIC MEETING ITEMS *(time of review at the discretion of the Plan Commission)*

STAFF/BOARD ITEMS *(time of review at the discretion of the Plan Commission)*

- Board of County Commissioners Approvals Following Plan Commission Recommendations.
- An amendment to consolidated SR 15 Economic Development Area.

ADJOURNMENT

The Elkhart County Plan Committee is meeting on Thursday September 12, 2024, at **9:30 am** in Rooms 104, 106 & 108 of the Administration Building, Goshen, Indiana. Pursuant to advice of the Indiana Public Access Counselor, general public comment will not be permitted at this public meeting on non-public hearing matters. To the extent you wish to make comment remotely during any public hearings scheduled during this public meeting, please call (574) 971-4678 to learn how to remotely submit your public comment for the public hearing. The public is encouraged to attend the meeting remotely by going to www.elkhartcountyplanninganddevelopment.com at **9:30 am** on September 12, 2024. If you have further questions regarding how to remotely attend the public meeting please call (574) 971-4678.

PLAN MINUTES
ELKHART COUNTY PLAN COMMISSION MEETING
HELD ON THE 8TH DAY OF AUGUST 2024 AT 9:30 A.M. IN THE
MEETING ROOM OF THE ADMINISTRATION BUILDING
117 N. 2ND ST., GOSHEN, INDIANA

1. The regular meeting of the Elkhart County Plan Commission was called to order by the Chairman, Lori Snyder. The following staff members were present: Mae Kratzer, Plan Director; Jason Auvil, Planning Manager; Danny Dean, Planner; Danielle Richards, Planner; and James W. Kolbus, Attorney for the Board.

Roll Call.

Present: Phil Barker, Steve Edwards, Steve Warner, Lori Snyder, Steven Clark, Dan Carlson, Roger Miller, Brian Dickerson, Brad Rogers.

2. A motion was made and seconded (*Edwards/Barker*) that the minutes of the last regular meeting of the Elkhart County Plan Commission, held on the 11th day of July 2024, be approved as submitted. The motion was carried with a unanimous vote.

3. A motion was made and seconded (*Warner/Clark*) that the Elkhart County Zoning Ordinance and Elkhart County Subdivision Control Ordinance be accepted as evidence for today's hearings. The motion was carried with a unanimous vote.

4. The application for a zone map change from A-1 to M-1, for Barbara Christine Truee Wilhelm represented by Jones Petrie Rafinski, on property located on the north side of CR 23, 1,875 ft north of CR 14, in Washington Township, zoned A-1, was presented at this time.

Jason Auvil presented the Staff Report/Staff Analysis, which is attached for review as *Case #RZ-0445-2024*.

Tim Ramm of Newport Equities, located at 26 Corporate Plaza Dr. in Newport Beach, represented the petitioner and presented a PowerPoint presentation. He reported that a meeting with around thirty citizens took place in July. Ramm emphasized that their firm, operational for over thirty years, is hands-on and experienced. He disclosed the design of the buildings and mentioned that Ken Jones with JPR and Gensler would be involved. The property, spanning 247 acres, borders industrial uses to the east and west and has already been annexed into the town of Bristol. Ramm outlined the purpose and equipment of a data processing center, emphasizing its sophisticated systems for air filtration, equipment cooling, fire suppression, security, and climate control. He stressed the importance of data centers by citing examples such as The Cloud, Facebook, Netflix, and credit card transactions. The development plan includes an 800,000 to 1.2 million square foot data center campus, all single-story buildings, with the project entrance to be located north of Rail Park Dr. The M-1 zone will be utilized as a data center campus, and the project will utilize the town's utilities. The capital investment is estimated at one billion dollars, with job creation expected to range from 125 to 150 high-quality jobs. The entire project is projected to take 5-7 years to complete. Ramm highlighted the benefits of the project, stating that it will have a low impact on the area but a significant economic impact. He emphasized that it will not create heavy truck traffic, or have an impact on schools, parks, police, fire, or other emergency services due to the sophistication of the buildings. The project is expected to provide numerous job opportunities during and after its completion. Ramm mentioned

that the property tax revenue in 2023 was just over 300 million dollars and estimated the property tax for this facility to be 23 million dollars a year.

Steve Clark asked how many long-term jobs will remain post-construction. Mr. Ramm stated approximately 125-150 jobs.

Lori Snyder asked about the electricity usage.

Mark Kerslake from Newport Equalities, located at 26 Corporate Plaza Dr. in Newport Beach, represented the petitioner. He mentioned that there have been numerous meetings with Nipsco and emphasized the importance of zoning. He also pointed out the increasing demand for data centers. Additionally, he mentioned a new substation in Bristol with two new 138 kilovolt circuits. Mr. Rogers asked about the sufficiency of the new substation for the data center, Mr. Kerslake believed it would be sufficient, as a formal application has already been submitted to Nipsco. He also mentioned that Nipsco has introduced a new data center intake form, which includes questions about local/county support and land use approvals. Mr. Kerslake confirmed that he believes the capacity needed to support the facility is feasible. When asked if there were any Nipsco representatives present, Mr. Kerslake stated that there were none. Mr. Rogers expressed concern about the impact on the county's power supply due to the data center. In response, Mr. Kerslake cited Virginia as a case study, stating that Virginia has more data centers than any other state and that the responsibility of the power provider is to manage the grid. He also provided an explanation of the power transmission levels and how Nipsco will be tapping into a different circuit. Finally, Mr. Kerslake mentioned Nipsco's billion-dollar generation projects for solar and wind power.

Jill Schwartz, Town of Bristol, 303 E. Vistula St. was present in favor of the petition. She stated last week the Council sent a letter to the board in support of this rezoning to allow for a data center. She also mentioned most of the public's comments that were heard are in support of the M-1 zoning with the single-use of the data center campus. Mr. Rogers asked if the Town of Bristol was prepared to handle the water needs that will be in demand. Jill stated there are a few questions along with the noise ordinance and the water usage. She signified there are different techniques that they are using to cool their system. She concurred the Town of Bristol will be able to accommodate. Mr. Clark asked if there was a concern regarding the noise ordinance. Mrs. Schwartz stated they will be using generators and are trying to have the amount of noise in decibels presented for the neighboring properties. Mr. Rogers stated there was an article that stated data centers were turning quiet neighborhood into a dystopian nightmares She affirmed that noise was a concern they were trying to be proactive about with the noise ordinance.

Ryan Elliot, 54868 Leona Ct., Bristol, was present to speak about this petition. He stated that this is an intriguing and different idea. He expressed some concerns as a neighbor to this property. He explained that the company has been good at listening to neighbors' concerns. He stated that his concerns are about noise and water, and also explained that A/C units will be running 24/7. He indicated his concern about this project falling through with 250 acres of M-1 land surrounding his property. Mr. Elliot asked if there could be a restriction placed on the rezoning. He stated that there were many questions people didn't have answers to and asked if solar panels could be part of a restriction. Mr. Elliot mentioned he could be open to the idea of a data center. He further expressed that listening to a project that could take 5-7 years to complete is a concern.

Lester Otto, 18686 CR 23, Bristol, was present in remonstrance. He expressed that farming is a challenging way of life and doesn't have any issues with landowners maximizing their profits. He indicated his preference for M-1 over M-2. He expressed his opposition to not knowing who was

involved in the project. He mentioned that although the project is alleged to be a data center, the parties involved are operating under a non-disclosure agreement (NDA). He pointed out that the company behind the project could be legitimate and honest, but there's no certainty that it's an American company. He questioned the intentions behind building a data center and whether there's any potential for spying. He wondered if the company might be gathering harmless information or if their activities are more sinister. He emphasized the need for more information, including the identity of the company involved. He informed the board about the increasing acquisition of farmland by foreign entities and expressed his opposition to this trend. He concluded by stating that instead of dramatically altering the landscape of Bristol, the board should seek more information.

Mr. Kerslake addressed that the emergency generators would only be tested during the day. He stated industry standard is that they run 30 minutes a month at a 30 % load factor, and are tested in sequence, not all at once. He informed the board that the standard is going to be 10 min a month for emergency generators. He indicated there are acoustic enclosures. He further stated that during the day 65 decibels at the property line, is expected from the generators, is at the level that is speaking currently. He stated day time would be at 70 decibels, equivalent to washing machine. He stated there would be berms for buffering. He explained that construction traffic will be limited to Rail Park to keep traffic off of CR 23. Mr. Rogers asked if Mr. Kerslake could comment on the NDA. Mr. Kerslake stated that was the entire point of an NDA, however, he did state he could say that he did not represent a foreign agent. Mr. Kolbus asked there was another question regarding solar panels. Mr. Kerslake explained there was no plan for solar panels. Mr. Kerslake reminded the board that the site plan will still have to go in front of the Town of Bristol. He stated their plan was to be a good neighbor. Mr. Carlson asked if there would be buffers around the residential area. Mr. Dickerson asked if Nipsco would come back and indicate they don't have the base level capability to supply the power, and what would be the intent of the site. Mr. Kerslake indicated if there is no power it would not be a data center. He mentioned it would be back to a drawing board, the zoning that is being requested is conditional upon the data center use. Mr. Dickerson asked what the approximate mega watt load for the facility. Mr. Kerslake stated 400. Mr. Dickerson asked what the phasing loading would look like over the next 5 years. Mr. Kerslake stated the project would be built in phases and each building would be 60-80 megawatts per building, perhaps more. He stated conventional data centers that you may have read over the years, but now there is AI with machinery which changes the configuration and the power demand. Mr. Dickerson confirmed Nipsco is going to build a 138 line north of the property and questioned, do you plan on having an additional circuit tie into your facility in order to have local backup. Mr. Kerslake stated Nipsco is building two 138 kv lines off the new substations, one is on the north property line and the second circuit is going down Rail Park. He further stated tapping into both 138 kv lines. Mr. Rogers asked if water would be used to cool the equipment. Mr. Kerslake stated the cooling system would be a closed hood type system, comparable to a car's radiator system. Mr. Rogers asked in regards to Mr. Otto's concern about the NDA, do you know who is coming into this data center. Mr. Kerslake shook his head yes. Mr. Rogers stated you are bonded by the NDA, not Elkhart County. He continued to state that he voted no on another project due to not knowing who was coming in. Mr. Rogers stated it is the role of government to be transparent and to allow people in the area to know what is coming in. Mr. Dickerson informed that the Indiana legislature passed a bill last year Indiana House Bill 1183 signed by the governor in March of this year and became law that prohibits certain foreign entities from leasing agricultural land in Indiana. He went on to state there are certain things that the legislature has done to protect property

and military installations. He recommended to get a hold of your state rep and senator on how that bill was written.

A motion was made and seconded (*Clark/Dickerson*) that the public hearing be closed, and the motion was carried with a unanimous vote.

Mr. Clark emphasized that the most concerning issue is regarding Commissioner Rogers's comments about the power grid. He mentioned that it's a national problem, not just isolated to Elkhart County. Whether the data center is located here, in Michigan, or in Virginia, it's a national problem influenced by national and state politics. He also mentioned the construction of a data center in St. Joseph County and expressed his preference for the tax revenue to come to their county. Mr. Clark thought the petitioner explained the construction process in detail and emphasized that the project had addressed all previous concerns. Mr. Clark strongly believes in property rights and thinks that the impact on neighboring properties will be minimal compared to previous cases that were shut down. For these reasons, he expressed his intention to vote in favor of the petition.

Mr. Dickerson explained that the data center will access power at the transmission level, which is significant as it distributes power to the distribution network. He stressed the need for commissioners to put pressure on utilities to solve the power distribution problems. He expressed uncertainty about whether solar and wind power could address the base load power configuration issue, and he believes this matter should be a higher level of concern before zoning the property. He noted that the Federal Energy Regulatory Commission will have the final say on these matters. He also noted that it will be important that after this project future smaller projects have access to utilities after this project was built. Mrs. Snyder stated those conversations are already happening. Mr. Dickerson stated it will be very important that our state partners know how much revenue these projects are generating which will be very significant. He stated getting utilities now is becoming an issue. Mrs. Snyder stated that everyone is in favor of DPUD's, however, they are willing to put on a commitment that the use will be limited to a data center. Mr. Dickerson stated they will not keep their generators going full-time, they are only there for emergencies. Mr. Miller stated from what he has heard the cooling of the unit causes more sound issues than generators do. He also stated that newer technology makes things more efficient. Mr. Dickerson stated there are still county noise ordinances. Mr. Warner stated with Bristol's due diligence and other experiences they have gone through in the past several years, the town is comfortable with their approach to this. Mr. Dickerson stated he would also recommend having a good conversation with local fire departments. He stated this is a new type of facility in our area and don't know if we are ready to address these types of issues that could arise. He mentioned finding a way to control that internally. Mr. Rogers stated we have approved a recent solar project of 850 acres and required an emergency response plan.

The Board examined said request, and after due consideration and deliberation:

Motion: Action: Approve, **Moved by** Steven Clark, **Seconded by** Brian Dickerson that the Advisory Plan Commission recommend to the Board of County Commissioners that this request for a zone map change from A-1 to M-1 be approved with the commitment of a data center.

Vote: Motion carried by unanimous roll call vote (**summary:** Yes = 9).

Yes: Phil Barker, Steve Edwards, Steve Warner, Lori Snyder, Steve Clark, Dan Carlson, Roger Miller, Brian Dickerson, Brad Rogers.

5. The application for an amendment to an existing DPUD R-1 and for primary approval of a 2-lot minor subdivision to be known as LONGBOAT POINTE, DPUD 1ST AMENDMENT, for Chad A. & Jennifer A. Leiby represented by Wightman, on property located on the south side of Longboat Ct., north of SR 120, east of CR 19, common address of 20406 Longboat Ct. in Washington Township, zoned DPUD, R-1, was presented at this time.

Jason Auvil presented the Staff Report/Staff Analysis, which is attached for review as *Case #DPUD-0454-2024*.

Terry Lang, Wightman, 1402 Mishawka Ave. South Bend, was present representing the petitioner. He stated there were toy barns purposed for these small lots. He stated it did not take off at this location. Mr. Leiby purchased all of the lots in the private roadway and divided it into two lots. He explained on one lot is his existing home with the lot being made larger and the balance will become a second lot to the west. Mrs. Snyder stated it fits the neighborhood better. Mr. Wightman confirmed.

There were no remonstrators present.

A motion was made and seconded (*Rogers/Dickerson*) that the public hearing be closed, and the motion was carried with a unanimous vote.

The Board examined said request, and after due consideration and deliberation:

Motion: Action: Approve, **Moved by** Brad Rogers, **Seconded by** Brian Dickerson that the Advisory Plan Commission recommend to the Board of County Commissioners that this request for an amendment to an existing DPUD R-1 and for primary approval of a 2-lot minor subdivision to be known as LONGBOAT POINTE, DPUD 1ST AMENDMENT be approved in accordance with the Staff Analysis.

Vote: Motion carried by unanimous roll call vote (**summary:** Yes = 9).

Yes: Phil Barker, Steve Edwards, Steve Warner, Lori Snyder, Steve Clark, Dan Carlson, Roger Miller, Brian Dickerson, Brad Rogers.

6. The application for a zone map change from GPUD M-1 to DPUD M-1 and for primary approval of a 1-lot subdivision to be known as FOREST RIVER-GOSHEN STORAGE LOT DPUD, for Forest River Inc. represented by Jones Petrie Rafinski, on property located on the southeast corner of US 33 and CR 40, in Elkhart Township, zoned M-1, was presented at this time.

Danielle Richards presented the Staff Report/Staff Analysis, which is attached for review as *Case #DPUD-0461-2024*.

Ken Jones, Sr., Jones Petrie Rafinski, 232 S. Main, Goshen was present representing the petitioner. He stated there were representatives from Forest River here. He mentioned this location will be used to store electrically charged chaises. He explained a couple of things to note about the operation. He stated there was a meeting conducted with the local residents to give them a preview of what we would do and made a significant commitment to landscape buffering on the perimeter. He went on to say they would not build a new approach on CR 40, instead it would be done on US 33. He noted they took all the concerns from the neighboring properties. He also went on to say their

operation hours would be from 5 a.m. to 5 p.m. Mr. Jones indicated a very detailed plan has been submitted.

Brian Dickerson asked about the lighting concerns from the last time this was presented. He asked if the lights would just be motion-activated at the perimeter or throughout the site. Mr. Jones stated it would only be lit at the perimeter. Mr. Rogers mentioned the last time this was presented about the lighting and buffering for the neighbors to the north to pose a problem. Mr. Jones stated there were no trees allowed under the power lines. He indicated they are allowed to put the buffering on the neighbor's site. Mr. Dickerson asked if this was for an electric bus division. Mr. Jones responded that was correct. Mr. Dickerson asked if there was any intent to use the electric vehicles as storage at this site. Mr. Jones stated he did not believe that was the case. The representative stated no there would not be storage of electric vehicles at this site.

There were no remonstrators present.

A motion was made and seconded (*Miller/Dickerson*) that the public hearing be closed, and the motion was carried with a unanimous vote.

Mrs. Snyder stated that the buffering on the neighbor's site is great, do we need a special commitment for that or part of the plan. Mr. Jones stated if we use the site plan that includes the landscape design then it is apart of the plan. Mr. Kolbus stated for a DPUD plan that is in the packet, all that information is like one big commitment.

The Board examined said request, and after due consideration and deliberation:

Motion: Action: Approve, **Moved by** Roger Miller, **Seconded by** Brian Dickerson that the Advisory Plan Commission recommend to the Board of County Commissioners that this request for a zone map change from GPUD M-1 to DPUD M-1 and for primary approval of a 1-lot subdivision to be known as FOREST RIVER-GOSHEN STORAGE LOT DPUD be approved in accordance with the Staff Analysis.

Vote: Motion carried by unanimous roll call vote (**summary:** Yes = 9).

Yes: Phil Barker, Steve Edwards, Steve Warner, Lori Snyder, Steve Clark, Dan Carlson, Roger Miller, Brian Dickerson, Brad Rogers.

7. Board of County Commissioners Approvals Following Plan Commission Recommendations

Jason Auvil reported that on July 9, 2024 the Town Council of Wakarusa meeting approved a zone map change and amendment to an existing DPUD. He also reported that on July 15, 2024, County Commissioners petition approvals.

A motion was made and seconded (*Dickerson/Edwards*) that the meeting be adjourned. The motion was carried with a unanimous vote, and the meeting was adjourned at 10:35 a.m.

Respectfully submitted,

Amber Weiss, Recording Secretary

Lori Snyder, Chairman

Plan Commission Staff Report

Prepared by the Department of Planning and Development

Hearing Date: September 12, 2024

Transaction Number: VRW-0553-2024.

Parcel Number(s): 20-08-10-181-001.000-035.

Existing Zoning: B-2.

Petition: for the vacation of an east/west town right-of-way known as Bradley Street.

Petitioner: Axius Realty Middlebury LLC, represented by Structure Point.

Location: southwest corner of Pleasant St. & N. Main St., 30 ft. west of Main St., in Middlebury Township.

Adjacent Zoning and Land Uses: The following table shows the zoning and current land use for the subject property and adjacent sites.

	Zoning	Current Land Use
Subject Property	B-2	Maintained right-of-way
North	B-2/B-3	Commercial
South	B-2	Commercial
East	M-1/B-2	Commercial
West	R-2	Residential

Site Description: The proposed vacation area is for an improved right-of-way between residential and commercial properties.

History and General Notes:

- None.

Staff Analysis: The purpose of this vacation petition is to allow the adjacent property owner ownership of this improved right-of-way in order to have more room for a new dealership and combining of the properties north and south of the right-of-way.

Plan Commission Staff Report (Continued)

Hearing Date: September 12, 2024

The staff, after reviewing this petition, recommends **APPROVAL** of this vacation for the following reasons:

1. The vacation will not hinder the growth or orderly development of Elkhart County. The right-of-way being vacated will not hinder the flow of traffic. The right-of-way was thought to be a private drive for the dealership and is not used by the general public.
2. The vacation will not make access to private properties by means of a public way difficult or inconvenient. All parcels already have access to existing maintained roads.
3. The vacation will not hinder the public's access to a church, school, or other public building because it is not adjacent to and does not give access to a church, school, or other public building.
4. The vacation will not hinder the use of other public ways located in the area. The proposed vacation area does not provide access to other public ways.

PLAN COMMISSION & BOARD OF ZONING APPEALS

Elkhart County Planning & Development
Public Services Building

4230 Elkhart Road, Goshen, Indiana, 46526

Phone - (574) 971-4678

Fax - (574) 971-4578

VRW-0553-2024

Vacation of Right of Way - Vacation of Right of Way

Date: 08/05/2024 Meeting Date: September 12, 2024
Plan Commission Hearing (Rezoning) Transaction #: VRW-0553-2024

Description: for the vacation of an east/west town right-of-way known as BRADLEY STREET

Contacts: Applicant	Authorized Agent	Land Owner	Private Surveyor
Structure Point 9025 River Road, Suite 200 Indianapolis, IN 46240	Structure Point 9025 River Road, Suite 200 Indianapolis, IN 46240	Axius Realty Middlebury Llc 211 N. Main St. Middlebury, IN 46540	Structure Point 9025 River Road, Suite 200 Indianapolis, IN 46240

Site Address: 211 N N Main St. Middlebury, IN 46540	Parcel Number: 20-08-10-181-001.000-035
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Township: Middlebury
Location: SW CORNER OF PLEASANT ST. & N. MAIN ST, 30 FT WEST OF MAIN ST.

Subdivision: MIDDLEBURY RR BLK 14 LOTS	Lot # 1-5
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Lot Area: 0.71 Frontage: 525.00 Depth: 235.00

Zoning: B-2	NPO List:
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Present Use of Property: COMMERCIAL

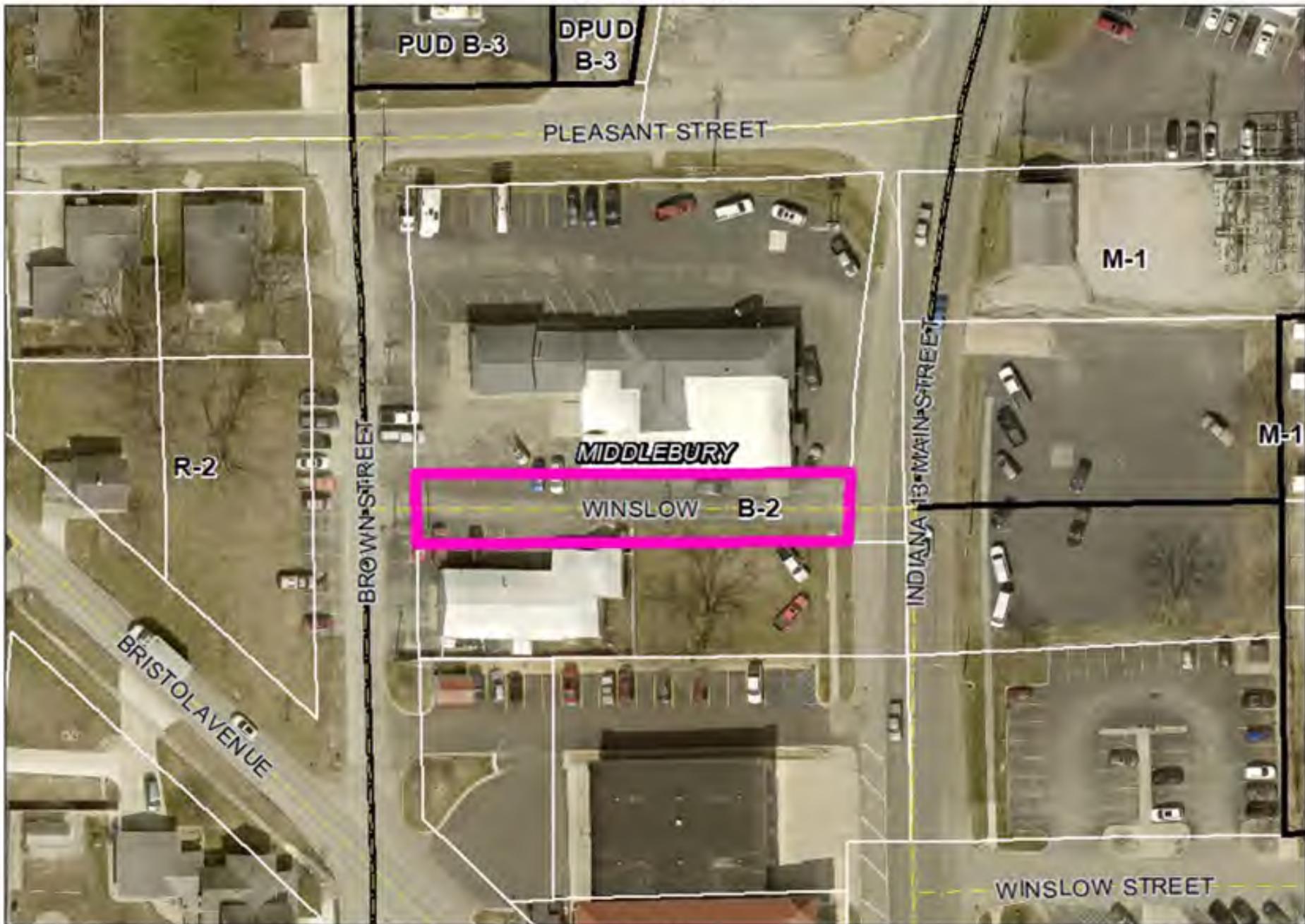
Legal Description:

Comments: 0463-2023-ZONING VERIFICATION

Applicant Signature:

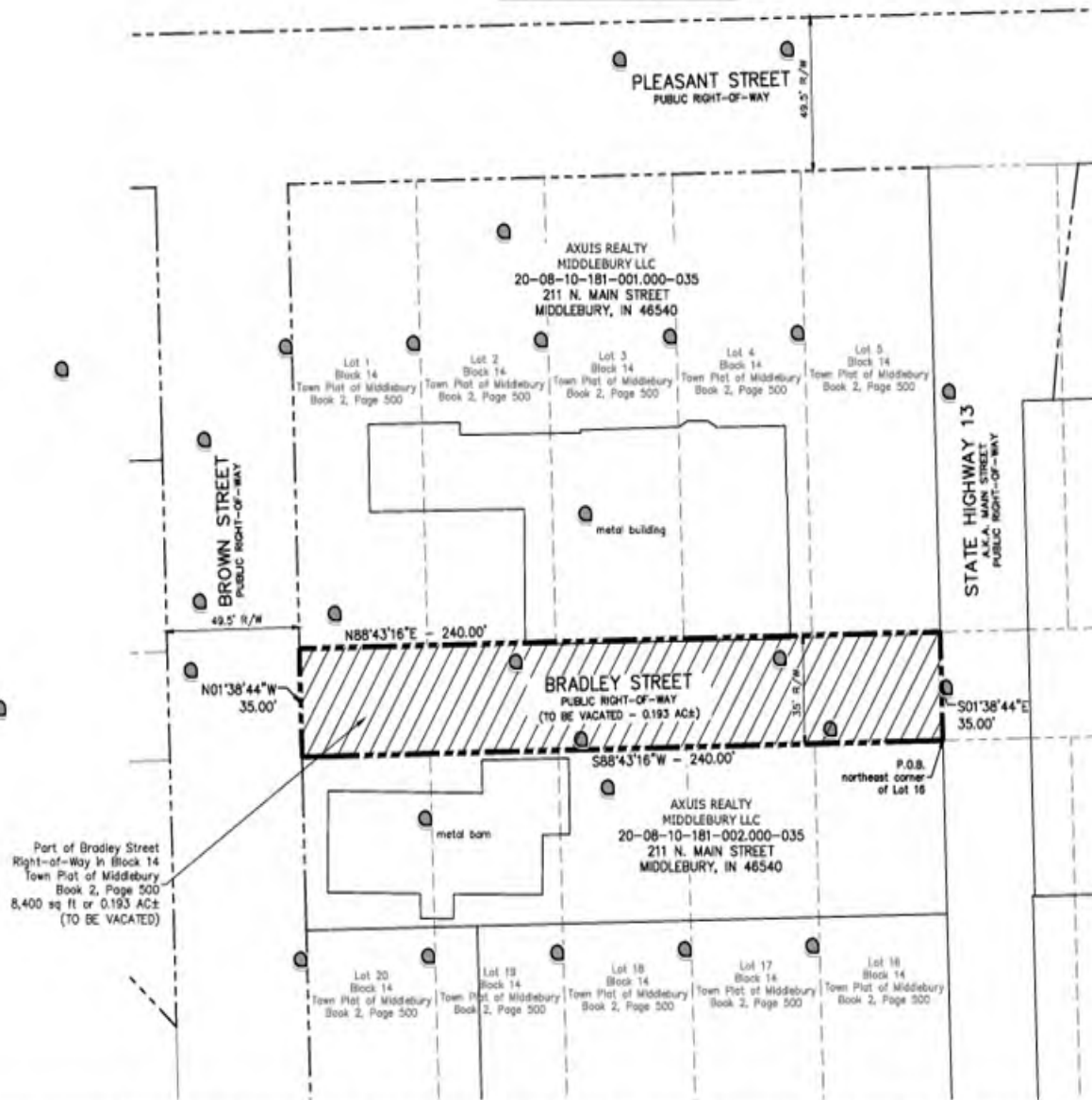
Department Signature:







SITE PLAN



0' 20' 40'



SCALE: 1" = 40'
August 2, 2024

BRADLEY STREET RIGHT-OF-WAY VACATION

Part of Block 14 of the
Town Plat of Middlebury
Elkhart County, Indiana



2023.01136

Plan Commission Staff Report

Prepared by the Department of Planning and Development

Hearing Date: September 12, 2024

Transaction Number: RZ-0518-2024.

Parcel Number(s): 20-01-35-251-001.000-005.

Existing Zoning: R-1.

Petition: for a zone map change from R-1 to A-1.

Petitioner: Aurelio C. Barrera & Lucia Valle Montufar, Husband & Wife.

Location: north side of Cr 108. 1,945 ft. east of CR 101., in Cleveland Township.

Adjacent Zoning and Land Uses: The following table shows the zoning and current land use for the subject property and adjacent sites.

	Zoning	Current Land Use
Subject Property	R-1	Residential
North	R-1	Agricultural
South	R-1	Residential
East	R-1, A-1	Residential, Agricultural
West	A-1, R-1	Agricultural, Residential

Site Description: The property is made up of a single 5-acre parcel. It is square in shape and has an existing 1,980 sq. ft. residence, barns, and accessory structures.

History and General Notes:

- None.

Zoning District Purpose Statement: The purpose of the A-1, Agricultural, zoning district is to accommodate family farms, modestly scaled agricultural operations, agri-businesses, large lot single-family detached dwellings not associated with an agricultural use, residential subdivisions and other compatible and supporting uses.

Staff Analysis: The purpose of this rezoning petition is to legally allow the existing agricultural uses.

Plan Commission Staff Report (Continued)

Hearing Date: September 12, 2024

The staff, after reviewing this petition, recommends **APPROVAL** of this rezoning for the following reasons:

1. The requested Zoning Map Amendment complies with the Comprehensive Plan. The Comprehensive Plan states that the agricultural zone designation is to protect agricultural operations from conflicting land use.
2. The request is in character with current conditions, structures, and uses on the subject property and in its surroundings. All adjacent properties are residential or agricultural in use and this area is mixed use with A-1 and R-1 zoning districts.
3. The most desirable use of the subject property is agricultural and residential.
4. The request conserves property values. The A-1 zoning district allows the property to become legal conforming and allows for agricultural and residential improvements by right.
5. The proposed rezoning promotes responsible growth and development. By rezoning the property to A-1, the property is allowed to continue agricultural uses.

PLAN COMMISSION & BOARD OF ZONING APPEALS

Elkhart County Planning & Development
Public Services Building

4230 Elkhart Road, Goshen, Indiana, 46526

Phone - (574) 971-4678

Fax - (574) 971-4578

Rezoning - Rezoning

RZ-0518-2024

Date: 07/24/2024 Meeting Date: September 12, 2024
Plan Commission Hearing (Rezoning) Transaction #: RZ-0518-2024

Description: for a zone map change from R-1 to A-1

<u>Applicant</u>	<u>Land Owner</u>
Aurelio C. Barrera & Lucia Valle Montufar, Husband & Wife 29379 County Road 108 Elkhart, IN 46514	Aurelio C. Barrera & Lucia Valle Montufar, Husband & Wife 29379 County Road 108 Elkhart, IN 46514

Site Address: 29379 Cr 108 ELKHART, IN 46514	Parcel Number: 20-01-35-251-001.000-005
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Township: Cleveland
Location: NORTH SIDE OF CR 108, 1,945 FT EAST OF CR 101

Subdivision:	Lot #
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Lot Area: 5.00	Frontage: 558.80	Depth: 391.62
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Zoning: R-1	NPO List:
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Present Use of Property: RESIDENTIAL

Legal Description:

Comments: PARCEL CREATED 12/13/2012

Applicant Signature:

Department Signature:

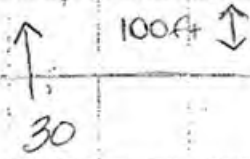
CLEVELAND

R-1

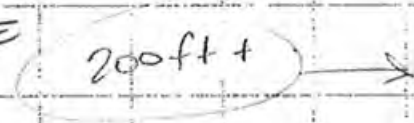
COUNTY ROAD 108







20 - FENCE



100 - 14



CR 108

391.62

Plan Commission Staff Report

Prepared by the Department of Planning and Development

Hearing Date: September 12, 2024

Transaction Number: RZ-0525-2024.

Parcel Number(s): 20-11-34-101-001.000-014.

Existing Zoning: R-1.

Petition: For a zone map change from R-1 to R-2.

Petitioner: Jolene M. Weaver.

Location: Southeast corner of CR 40 and SR 15, in Elkhart Township.

Adjacent Zoning and Land Uses: The following table shows the zoning and current land use for the subject property and adjacent sites.

	Zoning	Current Land Use
Subject Property	R-1	Residential
North	R-1	Residential
South	R-1	Residential
East	R-1	Residential
West	R-1	Residential, church

Site Description: The property is lots 4 and 5 of Fairlawn Subdivision, 1.37 acres. It is in a dense residential area between other homes, a church, and the Elkhart River at the west and homes, agriculture, and Goshen city limits at the east.

History and General Notes:

- None.

Zoning District Purpose Statement: The purpose of the R-2, Two-Family Residential, zoning district is to accommodate single- and two-family dwellings (duplexes) and other compatible and supporting uses on medium sized lots within a subdivision. The district should be applied within a municipality, generally in close proximity to a municipality or adjacent to another residential zoning district or use.

Staff Analysis: The purpose of this rezoning petition is to allow the conversion of a single-family home to a two-family home.

Plan Commission Staff Report (Continued)

Hearing Date: September 12, 2024

The staff, after reviewing this petition, recommends **APPROVAL** of this rezoning for the following reasons:

1. The requested Zoning Map Amendment complies with the Comprehensive Plan. The plan states that residential development is a desirable feature of an economically diverse, livable community and that the demand for housing should be met in urban growth areas. A two-family home on a state road, in an area with existing residential density, and in close proximity to a municipality is an appropriate use that will help meet the demand for housing.
2. The request is in character with current conditions, structures, and uses on the subject property and in its surroundings. The petitioner will convert an existing basement to living area, and little to no change will be apparent from the outside.
3. The most desirable use of the subject property is residential.
4. The request conserves property values by directing additional housing to an existing, dense residential area near city limits.
5. The proposed rezoning promotes responsible growth and development. An R-2 zone for this property is a responsible change that keeps dense housing in an existing area of dense housing with no change to the neighborhood look and character.

PLAN COMMISSION & BOARD OF ZONING APPEALS

Elkhart County Planning & Development
Public Services Building

4230 Elkhart Road, Goshen, Indiana, 46526

Phone - (574) 971-4678

Fax - (574) 971-4578

Rezoning - Rezoning

RZ-0525-2024

Date: 07/26/2024

Meeting Date:

September 12, 2024
Plan Commission Hearing (Rezoning)

Transaction #: RZ-0525-2024

Description: for a zone map change from R-1 to R-2

Contacts: Applicant

Jolene M Weaver
18884 County Road 40
Goshen, IN 46526

Land Owner

Jolene M Weaver
18884 County Road 40
Goshen, IN 46526

Site Address: 18884 Cr 40
GOSHEN, IN 46526

Parcel Number: 20-11-34-101-001.000-014

Township: Elkhart

Location: SOUTH SIDE OF CR 40, AT SOUTHEAST CORNER OF CR 40 AND SR 15

Subdivision: FAIRLAWN SD UNRECORDED SEC 34

Lot # 4 & 5

Lot Area:

Frontage:

Depth:

Zoning: R-1

NPO List:

Present Use of Property: RESIDENTIAL

Legal Description:

Comments:

Applicant Signature:

Department Signature:



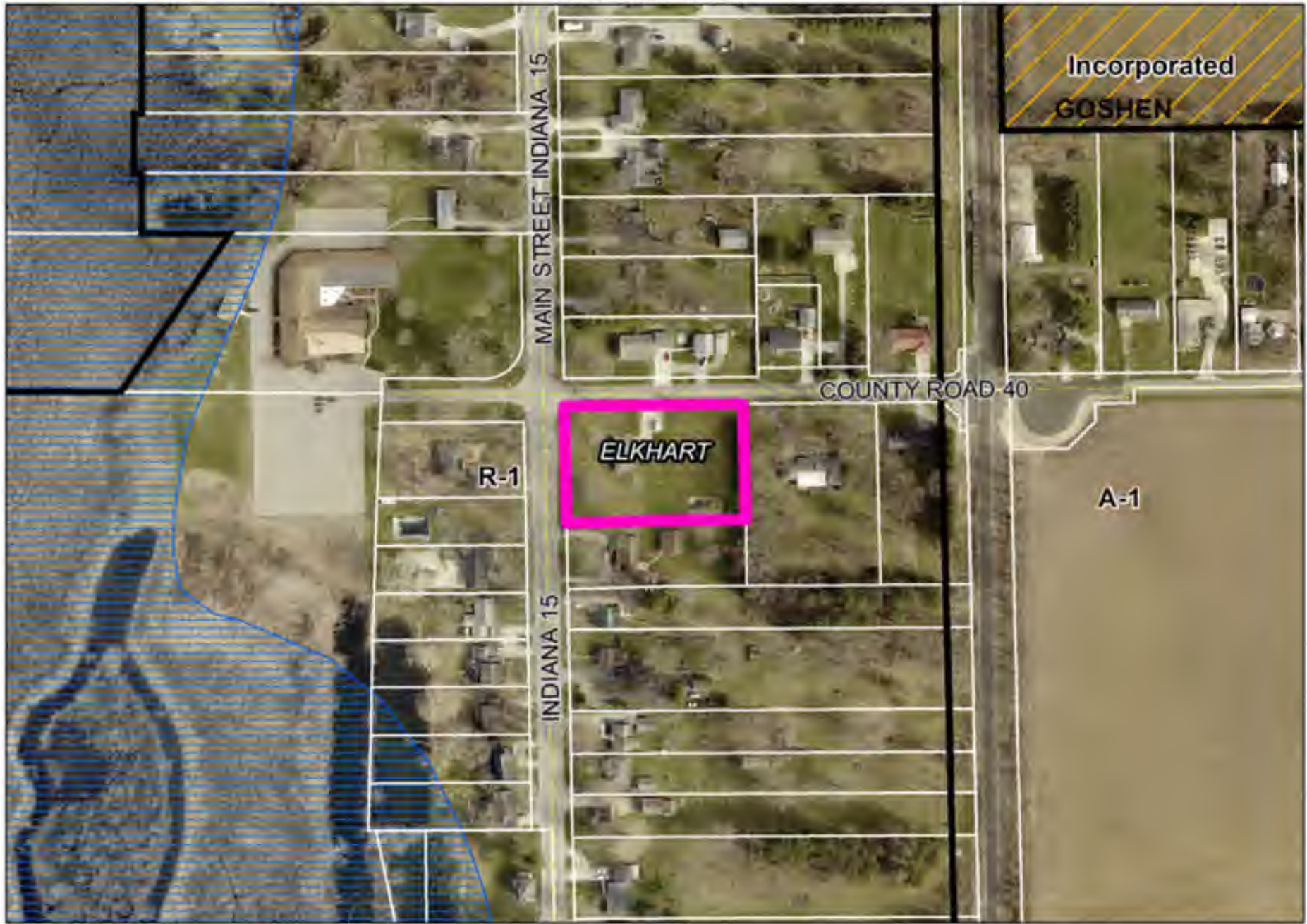
MAIN STREET
INDIANA 15

COUNTY ROAD 40

R-1
ELKHART

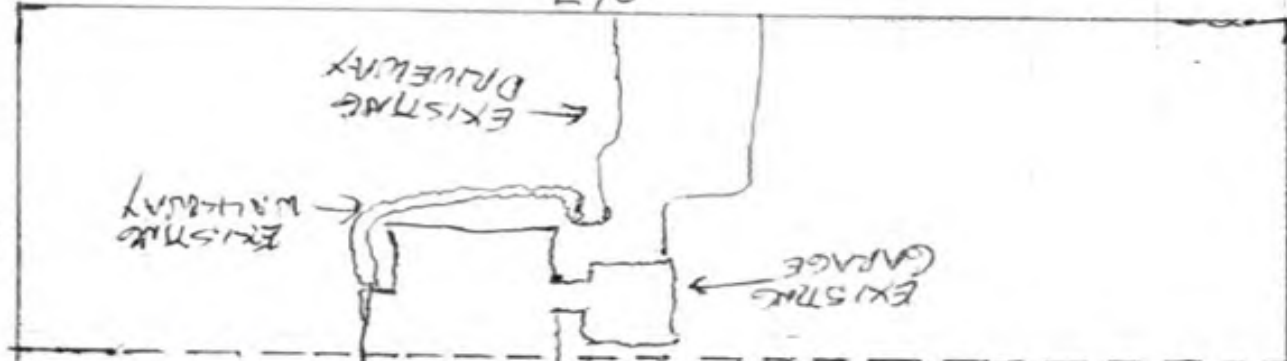
INDIANA 15

RZ-0525-2024





290'



EXISTING
WALKWAY

EXISTING
DRIVEWAY

EXISTING
GARAGE

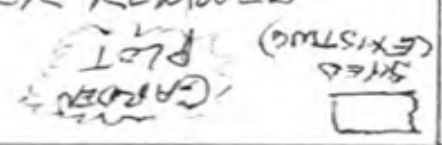
EXISTING
HOUSE

110'

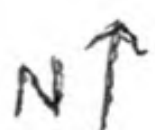
ROUTE 15

110'

- 1) MAIN FLOOR & BASEMENT HAVE SAME AREA
- 2) 2 BEDROOMS IN BASEMENT, TO BE BUILT, EACH WITH EGRESS WINDOW
- 3) ELECTRICAL SERVICE SEPARATED FOR EACH FLOOR/UNIT.
- 4) SEPARATE ENTRANCES FOR EACH FLOOR/UNIT.
- 5) NO STRUCTURES ADDED OR REMOVED



290'



Plan Commission Staff Report

Prepared by the Department of Planning and Development

Hearing Date: September 12, 2024

Transaction Number: RZ-0536-2024.

Parcel Number(s): 20-14-36-200-009.000-028.

Existing Zoning: A-1, PUD M-1.

Petition: for a zone map change from PUD M-1 to A-1.

Petitioner: James Leroy Wise & Dawn R. Wise, Husband & Wife.

Location: southwest corner of CR 17 and US 6, in Jackson Township.

Adjacent Zoning and Land Uses: The following table shows the zoning and current land use for the subject property and adjacent sites.

	Zoning	Current Land Use
Subject Property	PUD M-1	Agricultural
North	A-1	Agricultural/Residential
South	A-1	Agricultural
East	A-1	Agricultural
West	A-1	Agricultural

Site Description: The property is made up of a single 2-acre parcel. It is square in shape and has an existing residence and detached accessory structure.

History and General Notes:

- **September 18, 2024** – The Hearing Officer will hear a petition asking for more accessory storage space than allowed by right (DV-0537-2024).
- **June 11, 1998** – The Plan Commission granted an amendment to allow for an expansion of the building (PC 89-52 Amendment).
- **November 6, 1989** – The Board of County Commissioner approved a zone map change from zone map change from A-1 to PUD M-1 (PC 89-52).

Zoning District Purpose Statement: The purpose of the A-1, Agricultural, zoning district is to accommodate family farms, modestly scaled agricultural operations, agri-businesses, large lot single-family detached dwellings not associated with an agricultural use, residential subdivisions and other compatible and supporting uses.

Staff Analysis: The purpose of this rezoning petition is to take away the PUD M-1 zone that is no longer in need on the parcel.

Plan Commission Staff Report (Continued)

Hearing Date: September 12, 2024

The staff, after reviewing this petition, recommends **APPROVAL** of this rezoning for the following reasons:

1. The requested Zoning Map Amendment complies with the Comprehensive Plan. The Comprehensive Plan states that the agricultural zone designation is to protect agricultural operations from conflicting land use.
2. The request is in character with current conditions, structures, and uses on the subject property and in its surroundings. All adjacent properties are residential or agricultural in use and the property will revert back to the original zoning for agricultural and residential uses.
3. The most desirable use of the subject property is residential or agricultural uses.
4. The request conserves property values. The A-1 zoning district will allow for less intense uses than the current PUD M-1 zoning.
5. The proposed rezoning promotes responsible growth and development. By rezoning the property to A-1, the property will be in character with the adjacent uses.

PLAN COMMISSION & BOARD OF ZONING APPEALS

Elkhart County Planning & Development
Public Services Building

4230 Elkhart Road, Goshen, Indiana, 46526

Phone - (574) 971-4678

Fax - (574) 971-4578

Rezoning - Rezoning

RZ-0536-2024

Date: 07/30/2024 Meeting Date: September 12, 2024
Plan Commission Hearing (Rezoning) Transaction #: RZ-0536-2024

Description: for a zone map change from PUD M-1 to A-1

Contacts: <u>Applicant</u>	<u>Land Owner</u>
James Leroy & Dawn R Wise, Husband & Wife 72057 County Road 17 New Paris, IN 46553	James Leroy & Dawn R Wise, Husband & Wife 72057 County Road 17 New Paris, IN 46553

Site Address: 72057 Cr 17
NEW PARIS, IN 46553

Parcel Number: 20-14-36-200-009.000-028

Township: Jackson
Location: SOUTHWEST CORNER OF CR 17 AND US 6

Subdivision: Lot #

Lot Area: 2.00 Frontage: 415.00 Depth: 174.00

Zoning: A-1, M-1 NPO List:

Present Use of Property: RESIDENTIAL DWELLING

Legal Description:

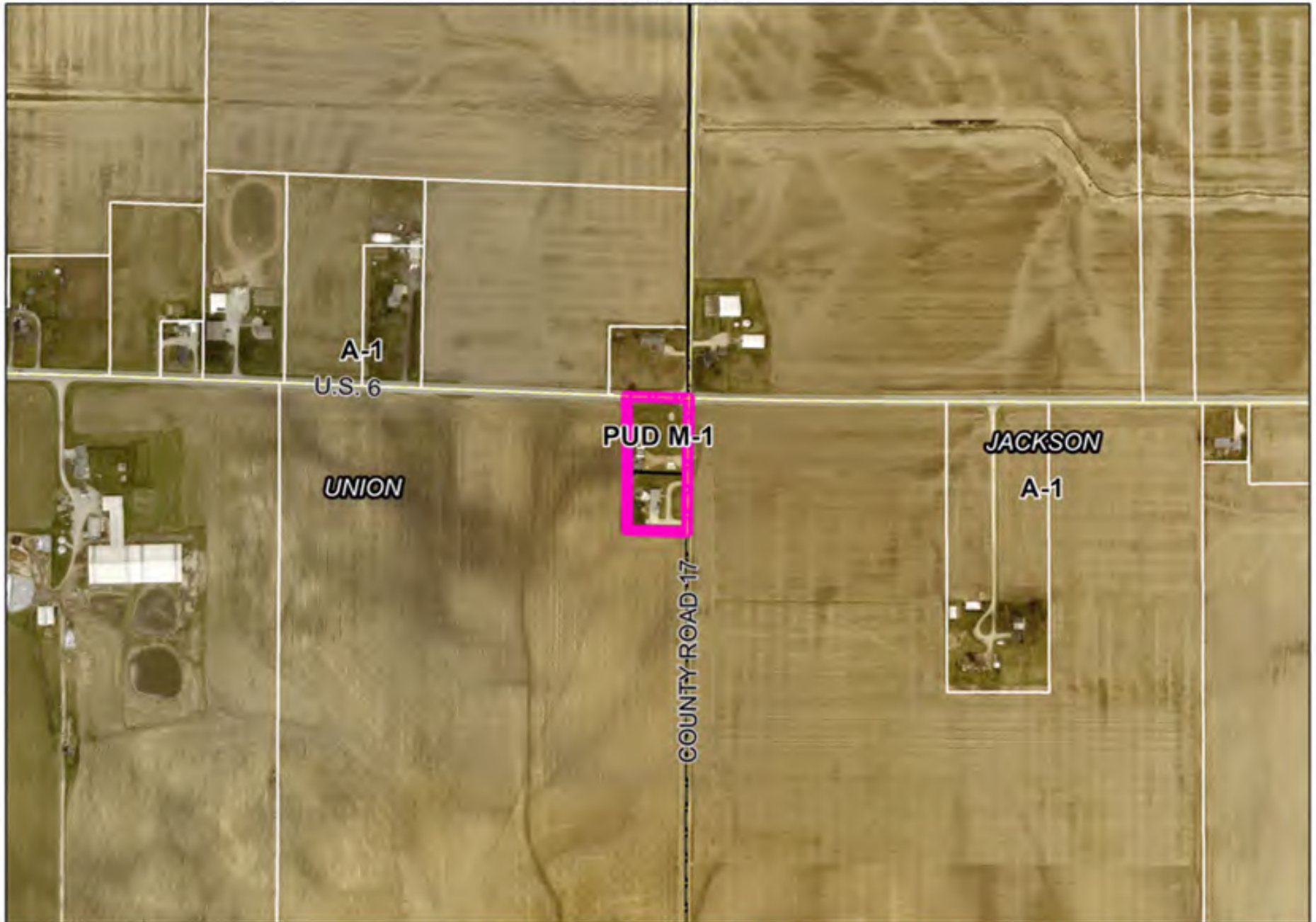
Comments: DEVELOPEMENTAL VARIANCE ALSO BEING SUBMITTED FOR OVERAGE OF PERSONAL STORAGE DV-0537-2024

Applicant Signature:

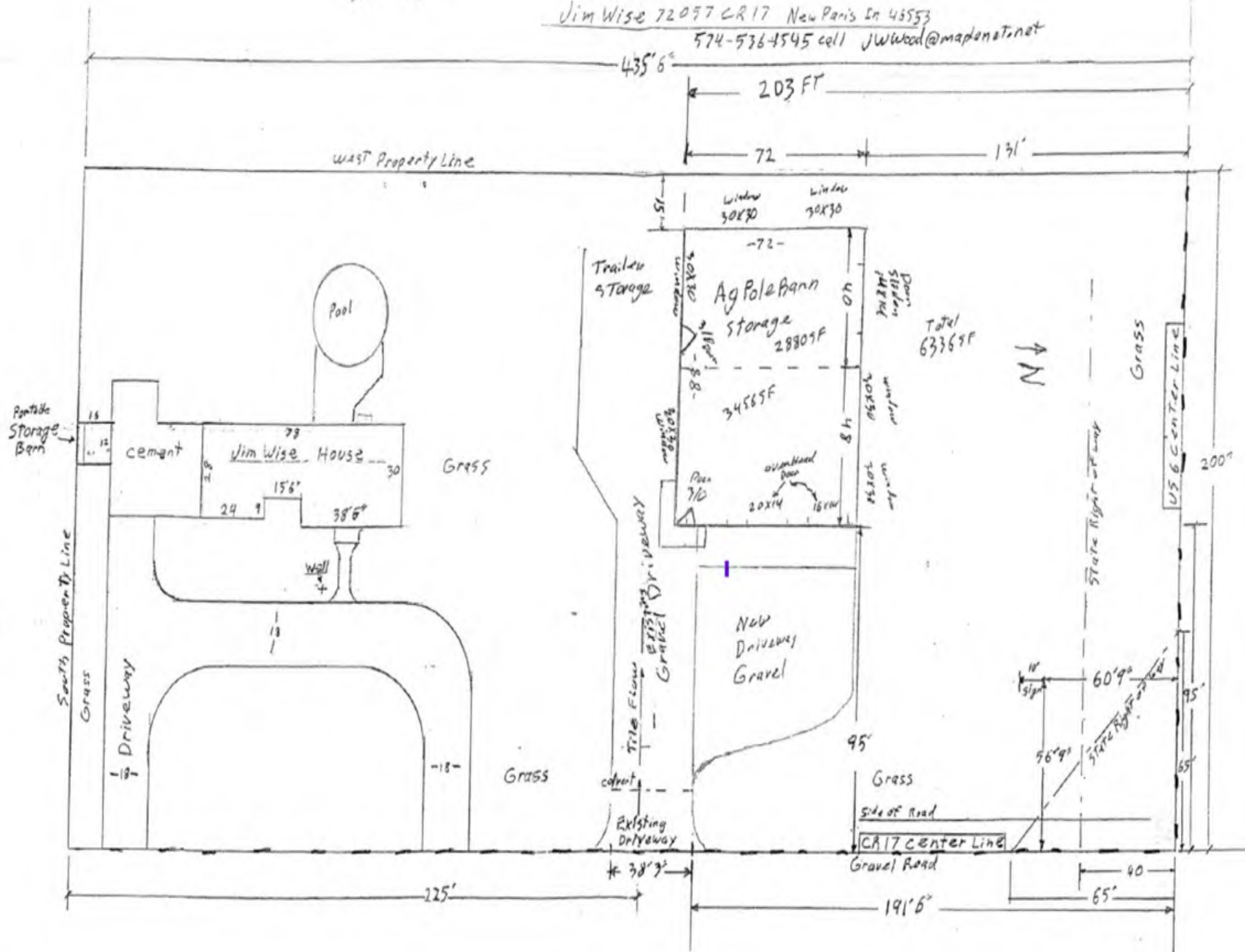
Department Signature:







Jim Wise 72097 CR17 New Paris IN 43553
 574-536-4545 cell JWWood@mapdata.net



Plan Commission Staff Report

Prepared by the Department of Planning and Development

Hearing Date: September 12, 2024

Transaction Number: DPUD-0552-2024.

Parcel Number(s): 20-01-36-251-021.000-005, 20-01-36-251-022.000-005.

Existing Zoning: DPUD B-3.

Petition: for an amendment to an existing DPUD B-3 known as CR 10 MINI STORAGE MINOR DPUD AMENDMENT LOT 1.

Petitioner: Giada Holdings, LLC.

Location: north side of CR 10, 3,250 ft. west of John Weaver Parkway., in Cleveland Township.

Adjacent Zoning and Land Uses: The following table shows the zoning and current land use for the subject property and adjacent sites.

	Zoning	Current Land Use
Subject Property	DPUD B-3	Self Storage Facility
North	A-1	Vacant
South	A-1	City of Elkhart - Manufacturing
East	A-1	Vacant & residential
West	A-1	Vacant & residential

Site Description: The subject property consists of two lots totaling 4.61 acres. Lot 1 is 3.25 acres and has five self-storage buildings.; Four, 4,500 ft² buildings and One 3,250 ft² building. Lot 2 is 0.93 acres and is undeveloped.

History and General Notes:

- **April 19, 2021** - The Board of County Commissioners approved a zone map change from A-1 to DPUD B-3 and for primary approval of a 2-lot minor subdivision to be known as County Road 10 Mini-Storage Units (PC 2021-11).

Zoning District Purpose Statements: The purpose of the DPUD, Detailed Planned Unit Development, Overlay zoning district is to allow an applicant the benefit of flexibility in development in exchange for increased public or private amenities that go beyond the requirements of the Zoning Ordinance. The purpose of the B-3, Heavy Business, zoning district is to accommodate higher-impact community and regional developments. The district also accommodates uses related to vehicular travel, interstate commerce, heavy equipment, trucking, and outdoor storage. The zoning district is appropriately applied adjacent to interstates and major state or county highways.

Plan Commission Staff Report (Continued)

Hearing Date: September 12, 2024

Staff Analysis: The purpose of this DPUD amendment is to construct two new 5,400 ft² self-storage buildings on Lot 1.

Staff Analysis Continued: The staff, after reviewing this petition with the assistance of the Elkhart County Tech Committee, recommends **APPROVAL** of this DPUD amendment and primary plat as the development meets all pertinent standards.

PLAN COMMISSION & BOARD OF ZONING APPEALS

Elkhart County Planning & Development
Public Services Building

4230 Elkhart Road, Goshen, Indiana, 46526

Phone - (574) 971-4678

Fax - (574) 971-4578

Detailed PUD Amendment - Rezoning, Plat & Site Plan

DPUD-0552-2024

Date: 08/05/2024 Meeting Date: September 12, 2024 Transaction #: DPUD-0552-2024
Plan Commission Hearing (PUD)

Description: for an Amendment to an existing DPUD B-3 known as CR 10 MINI STORAGE MINOR DPUD AMENDMENT LOT 1 for 2 additional buildings and drainage on existing parcel.

Contacts: <u>Applicant</u>	<u>Land Owner</u>
Giada Holdings, Llc	Giada Holdings, Llc
215 Prairie St.	215 Prairie St.
Elkhart, IN 46516	Elkhart, IN 46516

Site Address: 28443 Cr 10 Elkhart, IN 46514	Parcel Number: 20-01-36-251-021.000-005 20-01-36-251-022.000-005
--	---

Township: Cleveland
Location: NORTH SIDE OF CR 10, 3,250 FT. WEST OF JOHN WEAVER PARKWAY

Subdivision: CR 10 MINI STORAGE MINOR DPUD LOT 1	Lot # 1
--	---------

Lot Area: 3.25 Frontage: 243.00 Depth: 399.00

Zoning: B-3	NPO List:
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Present Use of Property: COMMERCIAL

Legal Description:

Comments:

Applicant Signature:

Department Signature:

A-1

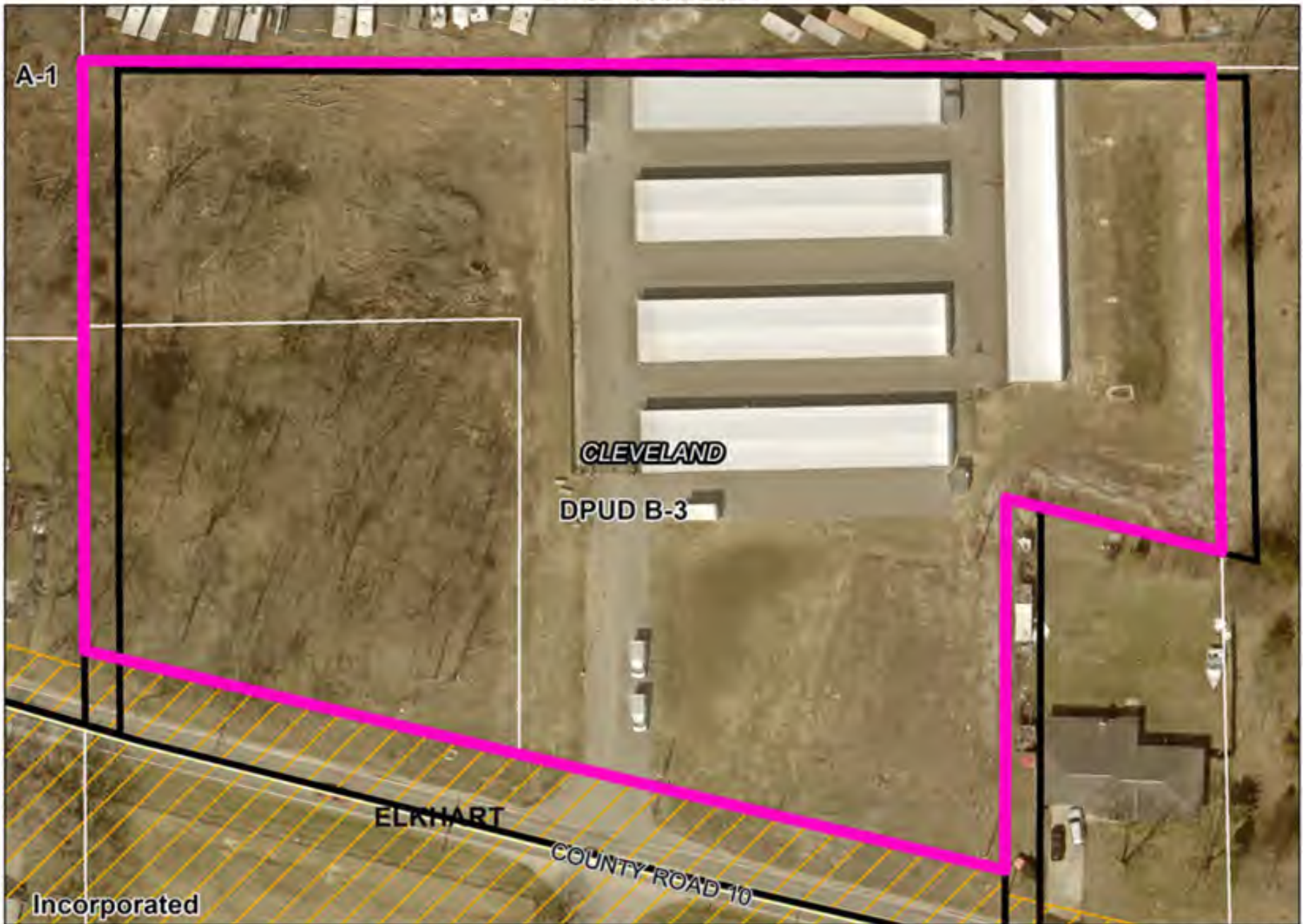
CLEVELAND

DPUD B-3

ELKHART

COUNTY ROAD 10

Incorporated







**C.R. 10 MINI-STORAGE, D.P.U.D. -
ELKHART, INDIANA
PROPOSED SITE PLAN**

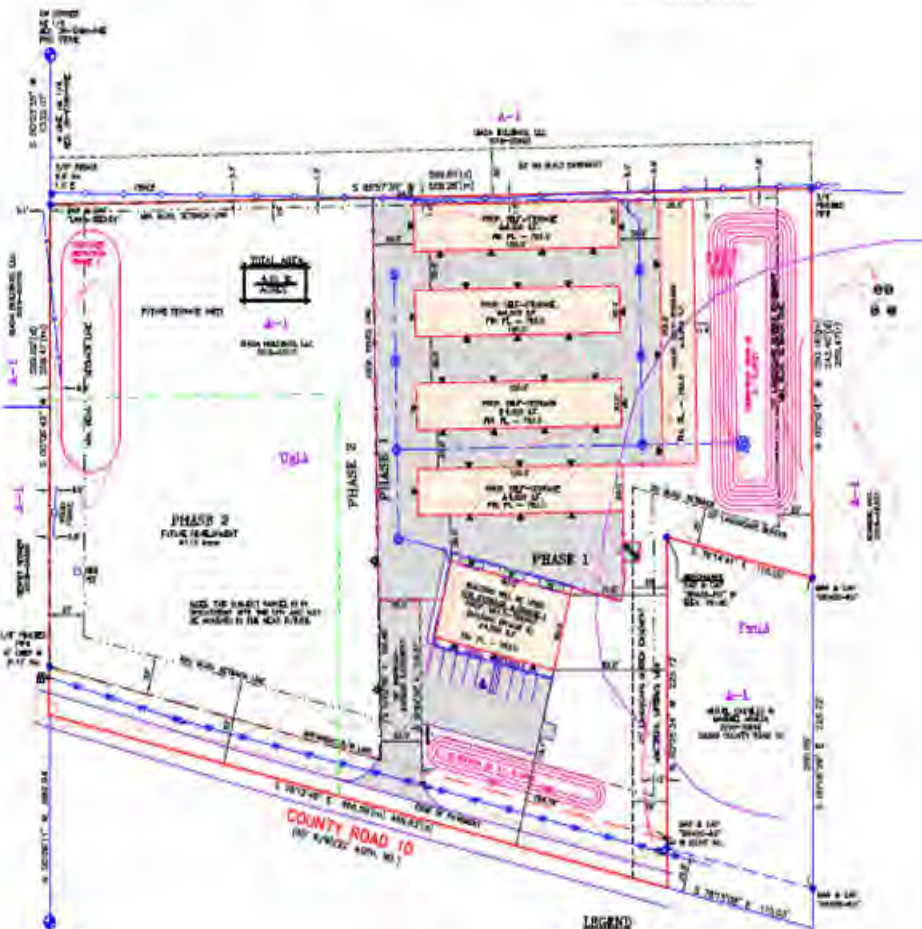
A PART OF THE NORTHEAST QUARTER OF
SECTION 36, TOWNSHIP 30 NORTH, RANGE 4 EAST
CLEVELAND TOWNSHIP, ELKHART COUNTY, INDIANA
OWNER: GRADA HOLDINGS, LLC
SEED RECORD: 2018-03115

ADDRESS: N. COUNTY ROAD 10, ELKHART, IN 46514
TAX ID# 20-01-36-291-001.000-000 & 20-01-36-291-021.000-000

OWNER:
GRADA HOLDINGS, LLC
ATTN: CORY WHITE
315 PHARRIS STREET, ELKHART, IN 46514
CELL PHONE: 317-536-3308
OFFICE PHONE: 317-536-3308
EMAIL: whitec@gradaholdings.com

DEVELOPER:
SCALTY GROUP REQUIRED
ATTN: CORY WHITE
315 PHARRIS STREET, ELKHART, IN 46514
CELL PHONE: 317-536-3308
OFFICE PHONE: 317-536-3308
EMAIL: whitec@gradaholdings.com

BOOK OF PLANS:
SHEET 1 OF 3: PROPOSED SITE PLAN
SHEET 2 OF 3: GRADING & DRAINAGE PLAN
SHEET 3 OF 3: LANDSCAPE PLAN



LEGAL DESCRIPTION

A PART OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 30 NORTH, RANGE 4 EAST, CLEVELAND TOWNSHIP, ELKHART COUNTY, INDIANA, HEREBY IS GRANTED TO GRADA HOLDINGS, LLC (INDIVIDUAL) THIS 21ST DAY OF DECEMBER, 2018 IN CONJUNCTION WITH JOB NO. 2018-2516 FOR PROGRESSIVE DEVELOPMENT, INC. (DEVELOPER) AS FOLLOWS:
ACROSS THE WEST LINE OF THE NORTHEAST QUARTER TO BEGIN ONE NORTH AND SOUTH AND COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 36, THENCE NORTH 89 DEGREES 58'51" WEST 884.14 FEET TO THE CENTERLINE OF COUNTY ROAD 10 AND THE POINT OF BEGINNING OF THIS DEVELOPMENT, THENCE SOUTH 15 DEGREES 47'48" EAST ALONG THE CENTERLINE OF SAID COUNTY ROAD 10 A DISTANCE OF 465.00 FEET TO THE WEST LINE OF A TRACT OF LAND CONVEYED TO NEAL, CALVELL AND HANSEN, MENARD, INC. (MCHM) AS FOLLOWS: BEING THE CORNER OF THE RECORD OF ELKHART COUNTY, INDIANA, THENCE NORTH 89 DEGREES 57'51" WEST ON SAID WEST LINE, 126.73 FEET TO A CORNER "BRANCH" POINT ON THE NORTH LINE OF SAID CALVELL AND HANSEN TRACT, THENCE NORTH 74 DEGREES 11'51" EAST ON SAID NORTH LINE, 10.00 FEET TO A CORNER "BRANCH" POINT ON THE WEST LINE OF A TRACT OF LAND CONVEYED TO BOWEN, INC. IN DOC. 9923-0423 AS FOUND IN THE OFFICE OF THE CLERK OF SAID COUNTY, THENCE SOUTH TO A 3/4" PAVED DRIVE ON THE SOUTH LINE OF A TRACT OF LAND CONVEYED TO GRADA HOLDINGS, LLC IN DOC. 2018-03115 AS FOUND IN THE OFFICE OF THE CLERK OF ELKHART COUNTY, INDIANA, THENCE SOUTH 89 DEGREES 57'51" WEST ON SAID SOUTH LINE, 282.00 FEET TO A CORNER "BRANCH" POINT, THENCE SOUTH 89 DEGREES 57'51" WEST SOUTH 1/2 SECTION 36 TO THE POINT OF BEGINNING, CONTAINING 4.41 ACRES, MORE OR LESS.

SUBJECT TO THE PUBLIC ROADWAY
SUBJECT TO ANY AND ALL FACTS THAT MAY BE DISCOVERED BY A FULL AND ACCURATE TITLE SEARCH



NOTES:

1. EXISTING UTILITIES SHOWN ON PLANS AND FIELD SURVEY TO BE MAINTAINED AND PROTECTED.
2. ALL UTILITIES SHALL BE DEEPENED TO 48" BELOW FINISHED GRADE.
3. ALL UTILITIES SHALL BE DEEPENED TO 48" BELOW FINISHED GRADE.
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10. ALL UTILITIES SHALL BE DEEPENED TO 48" BELOW FINISHED GRADE.

NOTICE:

THE STATE OF INDIANA, COUNTY OF ELKHART, INDIANA, HEREBY CERTIFIES THAT THIS INSTRUMENT IS A TRUE AND CORRECT COPY OF THE ORIGINAL INSTRUMENT FILED IN THE PUBLIC RECORDS OF SAID COUNTY, INDIANA, ON THIS 21ST DAY OF DECEMBER, 2018. THE ORIGINAL INSTRUMENT IS AVAILABLE FOR EXAMINATION AT THE OFFICE OF THE CLERK OF SAID COUNTY, INDIANA, AT 100 EAST MARKET STREET, ELKHART, INDIANA 46514.

UTILITY CONTACTS:

- ELKHART PUBLIC WORKS & UTILITIES
120 S. MARKET ST.
ELKHART, IN 46514
MICHAEL
(317) 536-3377
- COUNTY WATERWORKS & UTILITY
120 S. MARKET ST.
ELKHART, IN 46514
MICHAEL
(317) 536-3375
- INDCO
300 E. WINDY ROAD
ELKHART, IN 46514
KYLE
(317) 536-3321
- VERIZON
COMMERCIAL DEPT.
2873 COUNTY ROAD 40
ELKHART, IN 46514
(317) 674-5348
- SPRINT
400 N. WINDY RD., SUITE 201
ELKHART, IN 46514
(317) 536-3302
JERRY CHAM
- ONCAST
8000 EIGHT LANE PARKWAY
MERRASBURG, IN 46049
(317) 786-6506 EXT 1108
JAY CASTLE
- POWER
2873 S.E. 4
ELKHART, IN 46514
(317) 674-3360
- YELLY HOLTY
1-800-360-0344
GAIL@YH.COM

LEGEND

- PROPOSED ACCESS
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY
- EXISTING DRIVEWAY
- SEWER
- WATER
- WINDSHIELD WALL

PHOTO SIZE:
THIS INSTRUMENT IS NOT VALID UNLESS THE SIGNATURE OF THE REGISTERED PROFESSIONAL ENGINEER HAS BEEN VERIFIED BY THE REGISTERED PROFESSIONAL ENGINEER. THE REGISTERED PROFESSIONAL ENGINEER HAS REVIEWED THE INSTRUMENT AND HAS DETERMINED THAT IT IS A TRUE AND CORRECT COPY OF THE ORIGINAL INSTRUMENT FILED IN THE PUBLIC RECORDS OF SAID COUNTY, INDIANA, ON THIS 21ST DAY OF DECEMBER, 2018.

SCALTY GROUP REQUIRED
 PROPOSED SITE PLAN
 C.R. 10, ELKHART, IN
 20-01-36-291-001.000-000
 20-01-36-291-021.000-000
 12/21/2018

811
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INCORPORATED
1501 W. 10TH ST.
ELKHART, IN 46514
317-536-3300
www.beattyandlambert.com

Beatty & Lambert

**C.R. 10 MINI-STORAGE, D.P.U.D. -
ELKHART, INDIANA
LANDSCAPE PLAN**

A PART OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 4 EAST, CLEVELAND TOWNSHIP, ELKHART COUNTY, INDIANA
OWNER: DADA HOLDINGS, LLC
9222 RESCUE 2015-2115
ADDRESS: VL COUNTY ROAD 10, ELKHART, IN 46514
TAX ID# 20-01-36-251-001-000-000 & 20-01-36-251-021-000-000

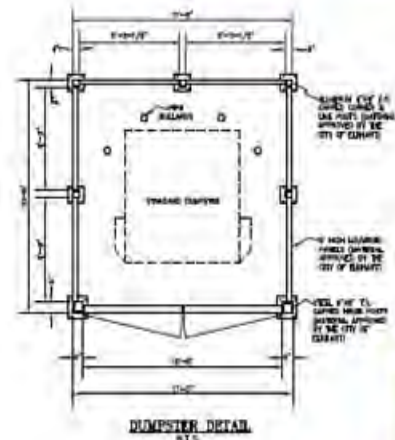
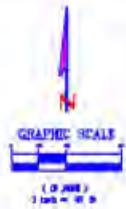
DESIGNER:
DADA HOLDINGS, LLC
1716 SOUTH WYTHE
300 PARK STREET, SUITE 1100
ELKHART, INDIANA 46514
PHONE: 774-248-3388
CELL: 774-248-3388
EMAIL: INFO@DADAHOLDINGS.COM

PREPARED BY:
DAILY GROUP INCORPORATED
4578 SOUTH WYTHE
1700 PARK STREET, SUITE 1100
ELKHART, INDIANA 46514
PHONE: 774-248-3388
CELL: 774-248-3388
EMAIL: INFO@DADAHOLDINGS.COM

PROPOSED LANDSCAPE LEGEND

- 1. PLANTING SYMBOLS - (SEE PLANT LIST) (SEE PHASE 1 & PHASE 2) - 10' SPACING
- 2. PLANTING SYMBOLS - (SEE PLANT LIST) (SEE PHASE 1 & PHASE 2) - 15' SPACING
- 3. PLANTING SYMBOLS - (SEE PLANT LIST) (SEE PHASE 1 & PHASE 2) - 20' SPACING
- 4. PLANTING SYMBOLS - (SEE PLANT LIST) (SEE PHASE 1 & PHASE 2) - 25' SPACING

- NOTE: MINIMUM SIZE AT TIME OF PLANTING**
1. MINIMUM TRUNK DIA. 1" IF ALL
 2. MINIMUM CANOPIES DIA. 1" IF ALL
 3. EXCEPT FOR 1" & 2" ONLY
 4. SEE PLANT LIST FOR 1" & 2" ONLY



FLOOD BOUNDARY
THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD PLAIN AS PER THE FLOOD INSURANCE RATE MAP (FIRM) NUMBER 17035C0010A FOR ELKHART COUNTY, INDIANA. THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD PLAIN AS PER THE FLOOD INSURANCE RATE MAP (FIRM) NUMBER 17035C0010A FOR ELKHART COUNTY, INDIANA.

SOILS MAP
ALL TYPES OF SOILS FROM THE 1:25000 SCALE USGS TOPOGRAPHIC MAP OF ELKHART COUNTY, INDIANA, ARE SHOWN ON THIS MAP. THE SOILS MAP IS A GENERALIZATION OF THE SOILS INFORMATION AVAILABLE FROM THE USGS TOPOGRAPHIC MAP. THE SOILS MAP IS NOT A SUBSTITUTE FOR A SOILS SURVEY. THE SOILS MAP IS NOT A GUARANTEE OF SOILS INFORMATION. THE SOILS MAP IS NOT A GUARANTEE OF SOILS INFORMATION. THE SOILS MAP IS NOT A GUARANTEE OF SOILS INFORMATION.

- GENERAL LANDSCAPE NOTES**
1. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY LOCATION OF ALL EXISTING AND PROPOSED UTILITIES WITHIN PROJECT SITE. CONTRACTOR SHALL ALSO VERIFY ALL UTILITIES LOCATED PRIOR TO THE COMMENCEMENT OF ANY WORK.
 2. CONTRACTOR SHALL VERIFY PLANTING SPECIFICATIONS AND PLANTING SYMBOLS BEFORE BEGINNING WORK.
 3. CONTRACTOR SHALL VERIFY THE PROJECT SITE AND EXISTING PLANTING WITH EXISTING MAPS AND SURVEYS SHALL BE OBTAINED PRIOR TO BEGINNING WORK.
 4. CONTRACTOR SHALL VERIFY ALL PLANTING SYMBOLS ARE PLANTING OF ANY PLANT SPECIES. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE AND NECESSARY TRIMMING OF EXISTING PLANTS OF ANY SPECIES.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL LANDSCAPE PLANTING AS SHOWN ON THE LANDSCAPE PLAN AND SPECIFICATIONS.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF 01 YEAR GUARANTEE FOR THE SURVIVAL OF ALL PLANT SPECIES. AFTER 01 YEAR OF INSTALLATION OF ALL PLANT SPECIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SURVIVAL OF ALL PLANT SPECIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SURVIVAL OF ALL PLANT SPECIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SURVIVAL OF ALL PLANT SPECIES.
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- LEGEND**
- 1. SETBACK LINE (SEE PHASE 1 & PHASE 2)
 - 2. PLANTING SYMBOLS
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 - 18. PLANTING SYMBOLS
 - 19. PLANTING SYMBOLS
 - 20. PLANTING SYMBOLS

Professional Engineering Seal
DAILY GROUP INCORPORATED
ELKHART, INDIANA
Professional Engineer Seal
Professional Engineer Seal

Professional Engineering Seal
DAILY GROUP INCORPORATED
ELKHART, INDIANA
Professional Engineer Seal
Professional Engineer Seal



Daily Group

NW CORNER
NE 1/4
SEC. 36-T38N-RAE
FND. STONE

S 00°03'35" W
1332.07'

W LINE NE 1/4,
SEC. 36-T38N-RAE

1425' OF DISTURBANCE AREA (ALL LOCATIONS DRAIN LEAKS)
PER EDCU PERMITS THE SECTION IS NOT CONSIDERED PART OF A
UNIQUE COMMON PLAN OF DEVELOPMENT AND THE SITE SHOULD MEET
MSD WWWW COVERAGE BASED UPON STATE REGULATIONS.

A-1
GIADA HOLDINGS, LLC
2018-22863

MINI STORAGE	
MINI STORAGE 2	10,000
MINI STORAGE 3	10,000
MINI STORAGE 4	10,000
MINI STORAGE 5	10,000
MINI STORAGE 6	10,000
MINI STORAGE 7	10,000
MINI STORAGE 8	10,000

OWNER: GIADA HOLDINGS, LLC
2009-03115

OWNER: DENNIS WITMER
2008-04809

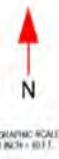
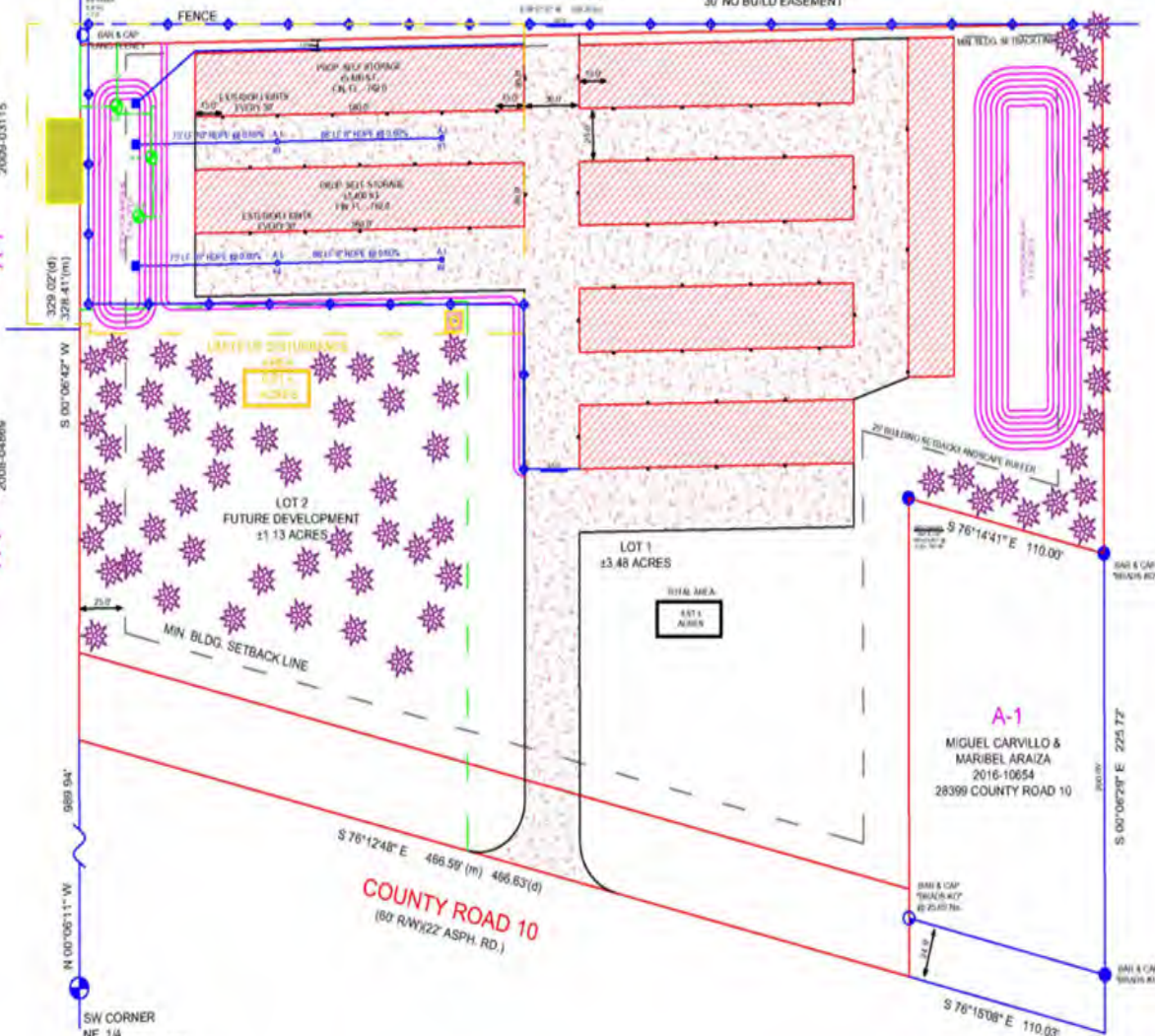
PROPERTY: LOT 1 & LOT 2
FUTURE DEVELOPMENT

MINI STORAGE

MINI STORAGE 2
MINI STORAGE 3
MINI STORAGE 4
MINI STORAGE 5
MINI STORAGE 6
MINI STORAGE 7
MINI STORAGE 8

MINI STORAGE 2
MINI STORAGE 3
MINI STORAGE 4
MINI STORAGE 5
MINI STORAGE 6
MINI STORAGE 7
MINI STORAGE 8

MINI STORAGE 2
MINI STORAGE 3
MINI STORAGE 4
MINI STORAGE 5
MINI STORAGE 6
MINI STORAGE 7
MINI STORAGE 8



SW CORNER
NE 1/4
SEC. 36-T38N-RAE
FND. 1/2" PIPE

N 00°08'11" W
989.94'

S 00°06'42" W
329.02'(d)
329.41'(m)

S 76°12'48" E
486.59'(m) 486.63'(d)

COUNTY ROAD 10
(80' R/W)(22' ASPH. RD.)

A-1
MIGUEL CARVILLO &
MARIBEL ARAIZA
2016-10654
28399 COUNTY ROAD 10

S 76°14'41" E 110.00'

S 00°06'29" E 225.72'

S 76°15'08" E 110.03'

DPUD AMENDMENT CR 10 MINI STORAGE MINOR DPUD LOT 1
8/16/2024
DRAWN BY: CORY WHITE, 215 PRAIRIE ST. ELKHART, IN 46516
WWW.PITREALTORSHOTMAIL.COM 574-596-3598

COUNTRY ROAD 10 MINI STORAGE UNITS EXPANSION - ELKHART, IN

NARRATIVE: August 5, 2024

THE LEGAL DESCRIPTION IS AS FOLLOWS:

A PART OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 38 NORTH, RANGE 4 EAST, CLEVELAND TOWNSHIP, ELKHART COUNTY, INDIANA, PREPARED BY BRADLEY S. CRAMER (LICENSE NO. LS80910004), THIS 21ST DAY OF DECEMBER, 2020 IN CONJUNCTURE WITH JOB NO. 2020-7278 FOR PROGRESSIVE ENGINEERING, INC. DESCRIBED AS FOLLOWS:

ASSUMING THE WEST LINE OF THE NORTHEAST QUARTER TO BEAR DUE NORTH AND SOUTH AND COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF SAID SECTION 36; THENCE NORTH 00 DEGREES 06'11" WEST 989.94 FEET TO THE CENTERLINE OF COUNTY ROAD 10 AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 76 DEGREES 12'48" EAST, ALONG THE CENTERLINE OF SAID COUNTY ROAD 10, A DISTANCE OF 466.59 FEET TO THE WEST LINE OF A TRACT OF LAND CONVEYED TO MIGUEL CALVILLO AND MARIBEL ARAIZA IN DOC. #2016-10654 AS FOUND IN THE OFFICE OF THE RECORDER OF ELKHART COUNTY, INDIANA; THENCE NORTH 00 DEGREES 05'34" WEST, ON SAID WEST LINE, 225.72 FEET TO A CAPPED "BRADSKO" IRON ON THE NORTH LINE OF SAID CALVILLO AND ARAIZA TRACT; THENCE SOUTH 76 DEGREES 14'41" EAST, ON SAID NORTH LINE, 110.00 FEET TO A CAPPED "BRADSKO" IRON ON THE WEST LINE OF A TRACT OF LAND CONVEYED TO ECMESE, INC. IN DOC. #2018-04303 AS FOUND IN THE OFFICE ST LINE OF SAID ECMESE TRACT, 250.18 FEET TO A ¾" PINCHED PIPE ON THE SOUTH LINE OF A TRACT OF LAND CONVEYED TO GIADA HOLDINGS, LLC IN DOC. #2018-22693, AS FOUND IN THE OFFICE OF THE RECORDER OF ELKHART COUNTY, INDIANA: THENCE SOUTH 88 DEGREES 57'30" WEST, ON SAID SOUTH LINE, 558.26 FEET TO A CAPPED "LANG FEENEY" IRON; THENCE SOUTH 00 DEGREES 06'42" WEST 328.41 FEET TO THE POINT OF BEGINNING. CONTAINING 4.61 ACRES, MORE OR LESS.

SUBJECT TO THE PUBLIC ROADWAY.

SUBJECT TO ANY AND ALL FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH

1. DEVELOPMENT PROJECT OVERVIEW:

THIS IS A 4.29 ACRE TRACT OF LAND IN A PART OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 38 NORTH, RANGE 4 EAST, ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA. (TAX ID #20-01-36-251-001.000-005 & #20-01-36-251-021.000-005.) THE APPLICANT IS PROPOSING 2 ADDITIONAL MINI-STORAGE UNIT BUILDINGS TO BE BUILT AS PHASE II OF THIS PROJECT. FIVE MINI-STORAGE UNIT BUILDINGS WERE BUILT ON THIS TRACT IN PHASE I OF THE PROJECT. THE SURROUNDING PROPERTIES TO THE NORTH, EAST AND WEST ARE ALL ZONED AGRICULTURAL. THIS PROPERTY BORDERS COUNTY ROAD 10, ALONG THE SOUTH LINE.

PROPOSED LAND USE - PERCENTAGE OF SITE FOR EACH USE

- 2 NEW STORAGE BUILDINGS (10,800 sf) PLUS 5 EXISTING STORAGE BUILDINGS (21,750 sf) : 32,550 sf of 121,937 sf or 27%
- ASPHALT AREA: NEW (9,900 sf) PLUS EXISTING (32,660 sf): 42,560 sf of 121,937 sf or 35%
- GREEN SPACE/RETENTION AREA: 46,827 sf of 121,937 sf or 38%

2. DEVELOPMENT PROJECT DETAILS

THIS IS PHASE II OF THIS PROJECT. THIS PLANNED UNIT DEVELOPMENT SERVICES THE COMMUNITY AS AN ALTERNATIVE SPACE FOR STORAGE OF HOUSEHOLD GOODS AND VARIOUS OTHER OVERSTOCKED ITEMS THAT ARE FOUND IN EVERY HOUSEHOLD. THE SITE WILL BE ACCESSED FROM THE COUNTY ROAD 10 ENTRY INTO THE CURRENT BUILDINGS. THERE ARE NO EMPLOYEES ON THE PREMISES REGULARLY BUT THE MINI-STORAGE BUILDINGS ARE ACCESSIBLE TO TENANTS 7 DAYS A WEEK AND 24 HOURS A DAY. ACROSS THE STREET, DIRECTLY SOUTH, IS A MANUFACTURING PLANT. TO THE EAST AND TO THE WEST ARE SINGLE FAMILY RESIDENCES. TO THE NORTH IS AN ABANDONED LANDFILL SITE THAT CONTAINS 1.5 ACRES OF OUTDOOR STORAGE FOR BOATS, RV'S, CAMPERS, ETC.

3. DEVIATIONS FROM ZONING ORDINANCE STANDARDS (SAME AS PHASE I)

1. NONE NEW PROPOSED THAT DIFFERENTIATE FROM PHASE 1/ORIGINAL DPUD

4. WATER AND SANITARY SYSTEMS

THE CURRENT PLAN FOR THE WATER SERVICE TO THE DEVELOPMENT IS TO EXTEND THE CITY WATER MAIN TO THIS SITE. THE PROPERTY WILL NEED TO BE ANNEXED INTO THE CITY OF ELKHART. MEETINGS AND NEGOTIATIONS ARE COMMENCING AS SOON AS DECISIONS CAN BE MADE AND AGREED UPON.

5. SOILS

SAME AS EXISTING DPUD. 3 ADDITIONAL SOIL BORINGS TAKEN AT NEW PROPOSED RETENTION AREA INCLUDED IN AMENDED DPUD PACKAGE.

6. TRAFFIC

THE AADT FOR COUNTY ROAD 10, BETWEEN JOHN WEAVER PARKWAY AND COUNTY ROAD 3 IS 8,022 VPD. THIS DEVELOPMENT IN ADDITION IS PROJECTED TO ADD APPROXIMATELY 7 PASSENGER VEHICLES AND PANEL TRUCKS, TO THE AVERAGE DAILY TRAFFIC COUNT. THE TRAFFIC WILL ENTER AND EXIT THE SITE THROUGH THE PROPOSED DRIVE CUT ON COUNTY ROAD 10.

Plan Commission Staff Report

Prepared by the Department of Planning and Development

Hearing Date: September 12, 2024

Transaction Number: DPUD-0554-2024.

Parcel Number(s): 20-05-03-326-001.000-005, 20-05-03-326-002.000-005, 20-05-03-326-003.000-005.

Existing Zoning: B-1, B-3.

Petition: for a zone map change from B-3 & B-1 to DPUD B-3 and for primary approval of a 1-lot minor subdivision to be known as Aldi Food Market DPUD.

Petitioner: George E. Vernasco & David Vernasco (Seller), represented by Insite Real-Estate Investment Properties, LLC (Buyer).

Location: southeast corner of Corwin St. and Old US 20, in Cleveland Township.

Adjacent Zoning and Land Uses: The following table shows the zoning and current land use for the subject property and adjacent sites.

	Zoning	Current Land Use
Subject Property	B-3 & B-1	Vacant & Residential
North	B-3	Mixed Use
South	B-1	Residential
East	B-3	Commercial - Storage
West	M-1	Commercial - Retail

Site Description: The subject property consists of three parcels totaling 3.38 acres. The B-3 zoned parcel is 2.09 acres and is vacant. The B-1 zoned parcels are 2.09 acres and 0.26 acres. The larger parcel has an existing single-family residence and accessory structure which will be demolished as part of the project.

History and General Notes:

- August 17, 2020 – The Board of County Commissioner approved a zone map change from zone map change from M-1 & PUD M-1 to B-3 & B-1 (PC 2020-20).

Zoning District Purpose Statements: The purpose of the DPUD, Detailed Planned Unit Development, Overlay zoning district is to allow an applicant the benefit of flexibility in development in exchange for increased public or private amenities that go beyond the requirements of the Zoning Ordinance. The purpose of the B-3, Heavy Business, zoning district is to accommodate higher impact community and regional developments. The district also accommodates uses related to vehicular travel, interstate commerce, heavy equipment, trucking and outdoor storage. The zoning district is appropriately applied adjacent to interstates and major state or county highways.

Plan Commission Staff Report (Continued)

Hearing Date: September 12, 2024

Staff Analysis: The purpose of this rezoning petition is to construct a new 19,600 ft² grocery store on the assembled property under a single zoning district.

The staff, after reviewing this petition, recommends **APPROVAL** of this rezoning for the following reasons:

1. The requested Zoning Map Amendment complies with the Comprehensive Plan. Commercial development should be directed towards urban growth areas and designated transportation corridors. Old US 20 is a major road and entranceway into Elkhart County.
2. The request is in character with current conditions, structures, and uses on the subject property and in its surroundings. The size of the proposed development is comparable with what would be expected in a commercial or manufacturing area in a transportation corridor.
3. The most desirable use of the subject property is commercial, manufacturing, and/or other compatible and supporting uses. This area has been identified as a commercial zone in the Northwest Gateway Plan.
4. The request conserves property values by allowing other compatible and supporting uses. This development is adjacent to a major retail store in a developing commercial area.
5. The proposed rezoning promotes responsible growth and development. The property will utilize public water from the City of Elkhart.

Staff Analysis Continued: The staff, after reviewing this petition with the assistance of the Elkhart County Technical Committee, recommends **APPROVAL** of this DPUD.

PLAN COMMISSION & BOARD OF ZONING APPEALS

Elkhart County Planning & Development
Public Services Building

4230 Elkhart Road, Goshen, Indiana, 46526

Phone - (574) 971-4678

Fax - (574) 971-4578

Detailed PUD - Rezoning, Plat & Site Plan

DPUD-0554-2024

Date: 08/05/2024 Meeting Date: September 12, 2024 Transaction #: DPUD-0554-2024
Plan Commission Hearing (PUD)

Description: for a zone map change from B-1 & B-3 to DPUD B-3 and for primary approval of a 1-lot minor subdivision to be known as ALDI FOOD MARKET DPUD.

<u>Applicant</u>	<u>Land Owner</u>	<u>Land Owner</u>	<u>Private Surveyor</u>
Insite Real-Estate Investment Properties, Llc (Buyer) 1400 16Th Street Oak Brook, IL 60523	George E Vernasco & David Vernasco (Seller) 1618 S Main St. Mishawaka, IN 46544	Nathan & Julie Steensma 55578 Corwin Rd. Elkhart, IN 46514	Manhand Consulting Ltd 1 Overlook Point Lincolnshire, IL 60069

Site Address: 00000 Old Us 20 ELKHART, IN 46514	Parcel Number: 20-05-03-326-001.000-005 20-05-03-326-002.000-005 20-05-03-326-003.000-005
--	---

Township: Cleveland
Location: SOUTH EAST CORNER OF CORWIN ST AND OLD US 20

Subdivision: RIVER LEA	Lot # 1-2
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Lot Area: 3.38	Frontage: 753.00	Depth: 302.90
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Zoning: B-3, B-3	NPO List:
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Present Use of Property: RESIDENTIAL/VACANT

Legal Description:

Comments: APPLICATION IS NOT CORRECT, THE INFORMATION LISTED IN THIS PLAN WAS GATHERED FROM PARCEL LAYOUT.

Applicant Signature:

Department Signature:

B-3

LEXINGTON AVENUE

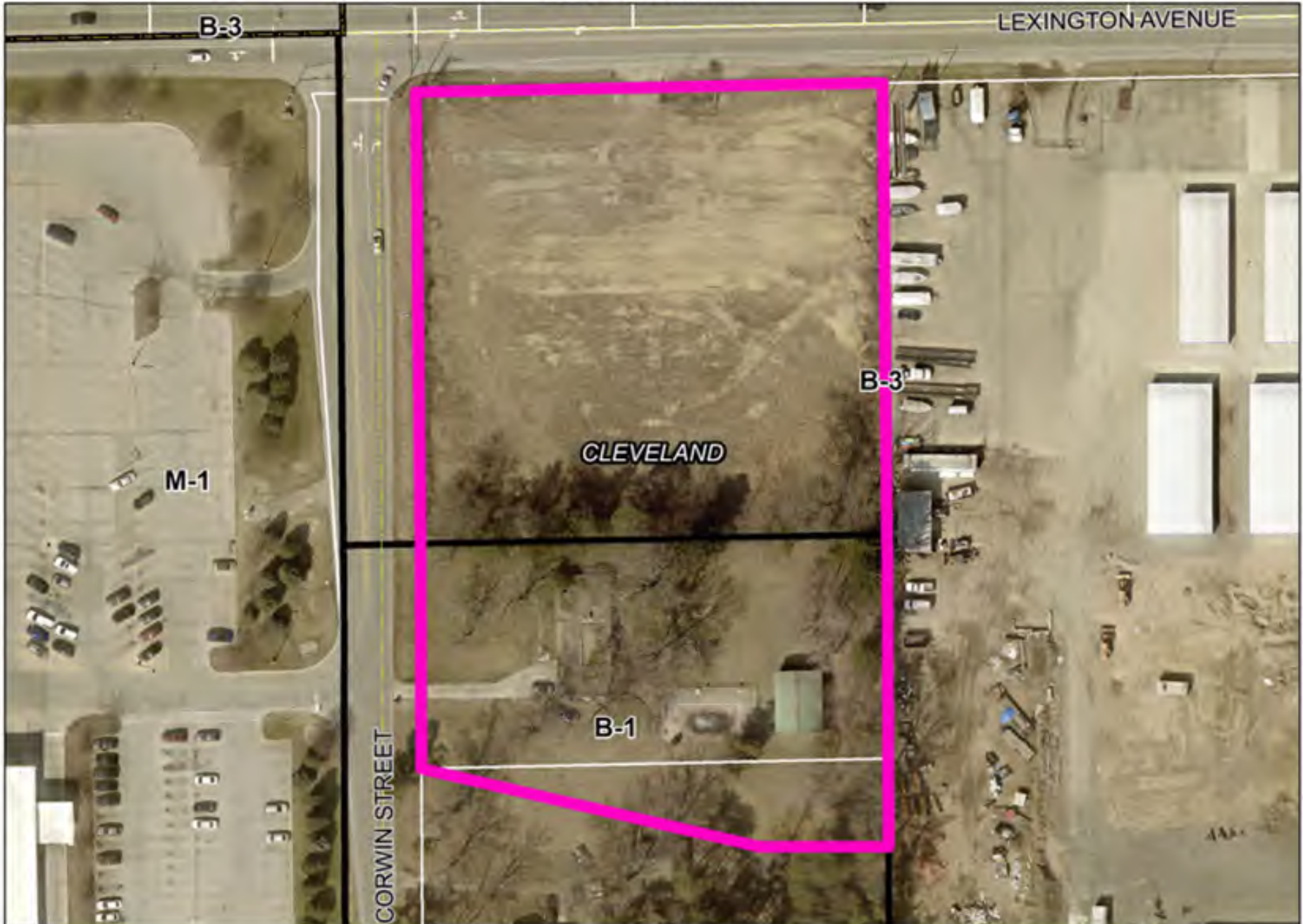
M-1

B-3

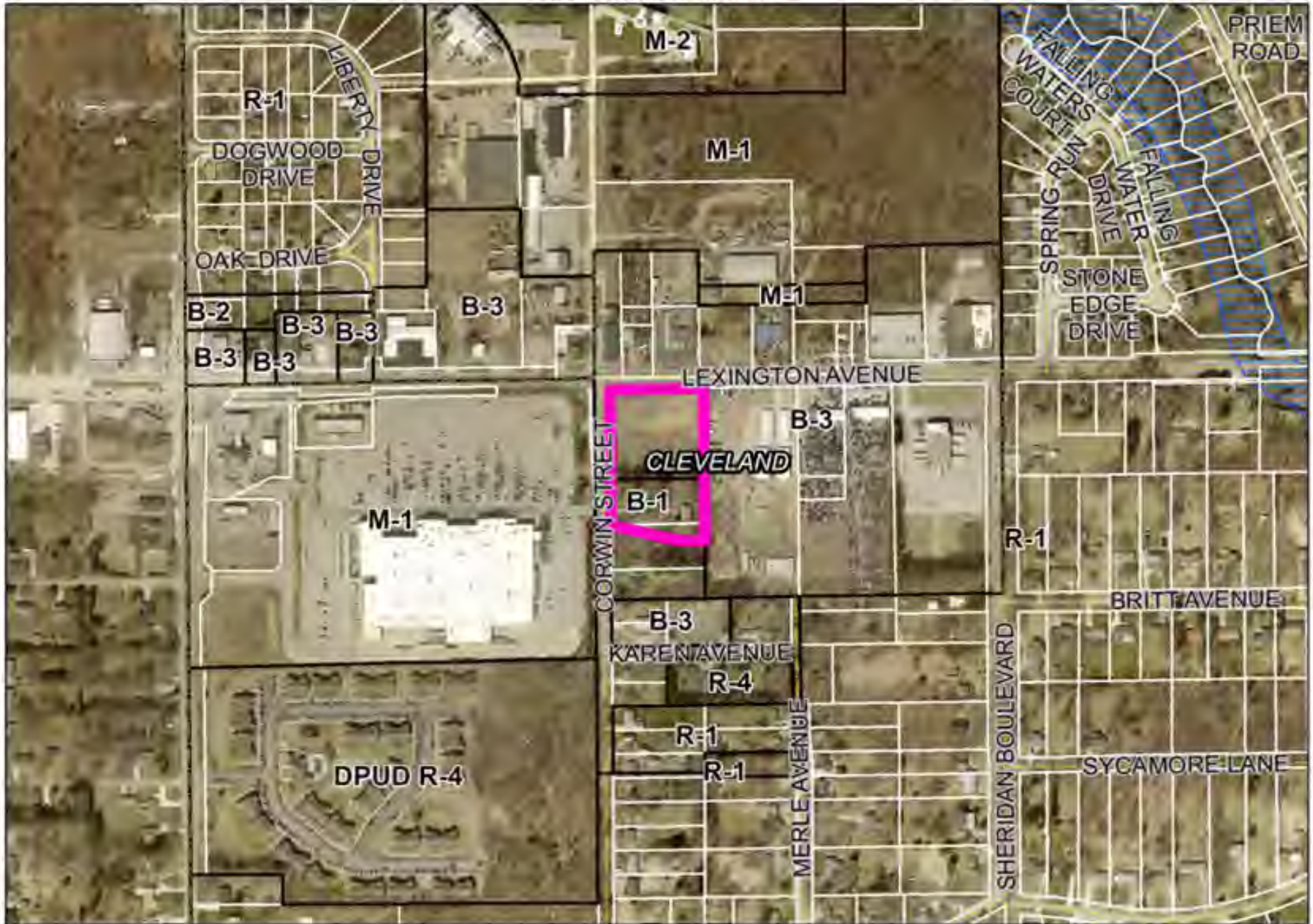
CLEVELAND

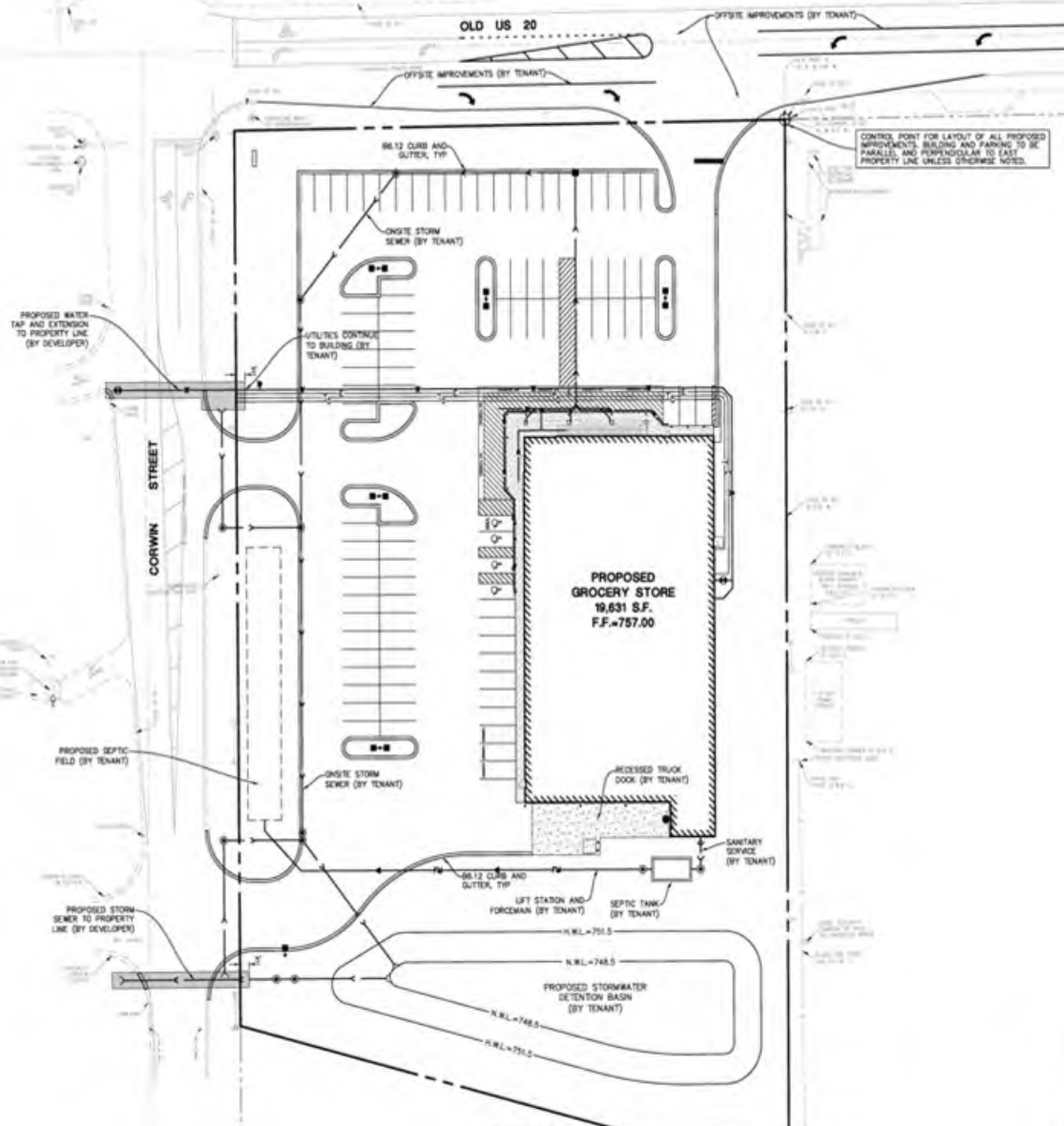
B-1

CORWIN STREET









DEVELOPER (NOTE) SCOPE OF WORK SHALL BE TO PROVIDE UTILITIES TO WITHIN 5' OF PROPERTY LINE. ALL OTHER WORK INCLUDING, BUT NOT LIMITED TO MASS GRADING, FINE GRADING, PAVING, ON-SITE UTILITIES, OFF-SITE IMPROVEMENTS, ETC. SHALL BE THE TENANT'S RESPONSIBILITY.

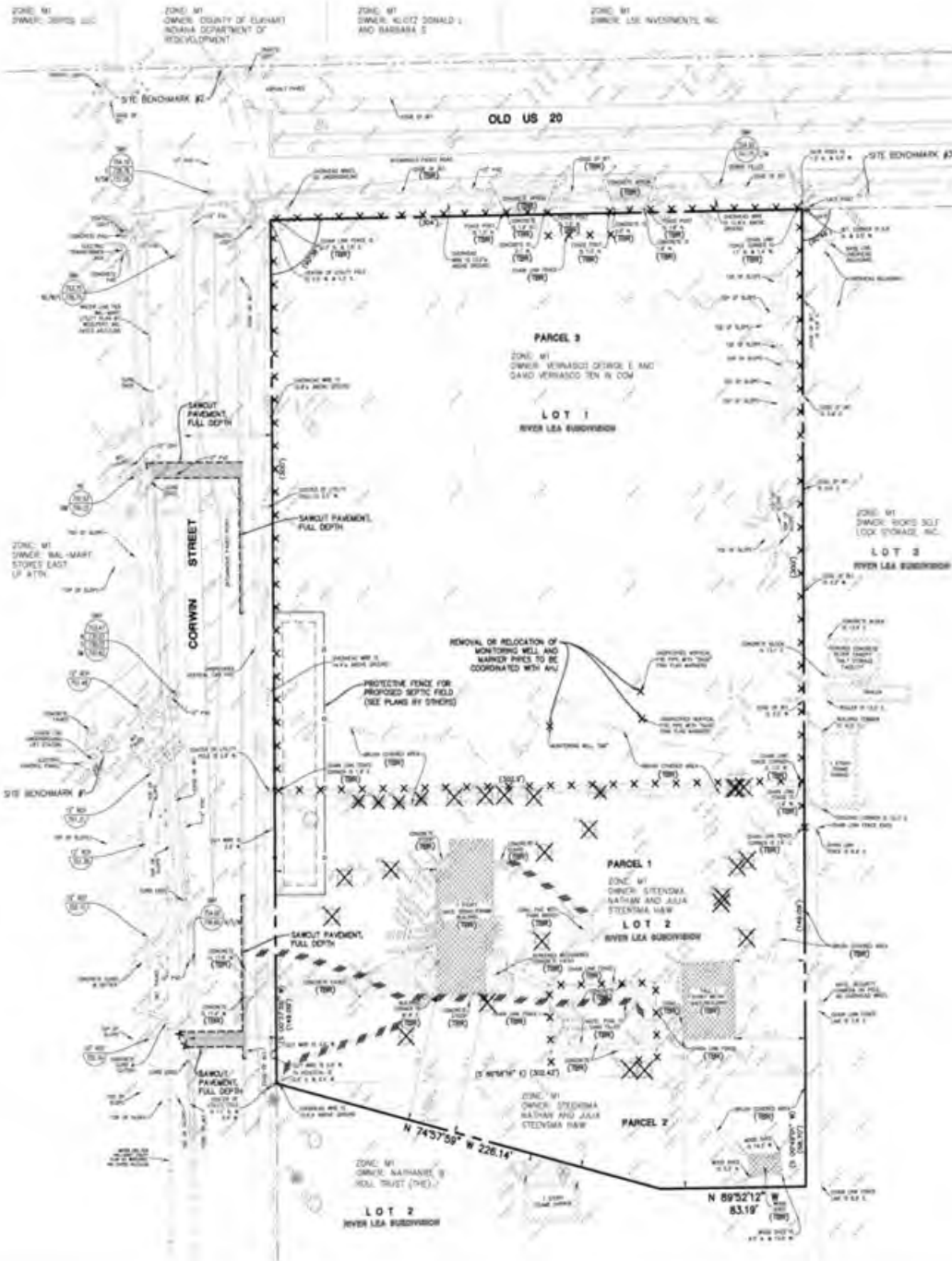
SITE DATA	
SITE AREA	3.38 ACRES
BUILDING AREA	19,631 S.F.
CURRENT ZONING	M-1 LIGHT MANUFACTURING
PROPOSED ZONING	B-3 HEAVY BUSINESS
PROPOSED USE	RETAIL AND SERVICE
PARKING REQUIRED	3.33/1000 S.F.
STANDARD PARKING PROVIDED	88 SPACES
CURBSIDE PICKUP PROVIDED	3 SPACES
HANDICAP PROVIDED	4 SPACES
TOTAL PARKING PROVIDED	96 SPACES
PARKING RATIO	4.89 SPACES/1000 S.F.



DATE	NOV 20 2024
PROJECT	ALDI FOOD MARKET
CLIENT	ALDI INC.
LOCATION	ELKHART COUNTY, INDIANA
DRAWN BY	JLS
CHECKED BY	JLS
SCALE	1"=30'
SHEET	2 OF 9



ALDI FOOD MARKET
ELKHART COUNTY, INDIANA
PRELIMINARY PHASING PLAN



DEMOLITION LEGEND

	BITUMINOUS PAVEMENT AND BASE TO BE REMOVED
	CONCRETE PAVEMENT AND BASE TO BE REMOVED
	BUILDING TO BE REMOVED
----	SANICUT LINE
X X X	FENCE, POLES, CURB AND OUTLET, ETC. TO BE REMOVED
XXX	UTILITY STRUCTURE TO BE REMOVED
///	UTILITY LINE REMOVAL, FILL OF ABANDONMENT (REFER TO SPECIFICATIONS)
XX	TREE TO BE REMOVED
(TBR)	TO BE REMOVED
(TR)	TO REMAIN

- EXISTING CONDITIONS AND DEMOLITION NOTES:**
- EXISTING CONDITIONS AND DEMOLITION PLAN REPRESENT SITE CONDITIONS AS OF MAY 24, 2024. CONTRACTOR SHALL REINSPECT SITE PRIOR TO BEGINNING WORK TO VERIFY ACTUAL FIELD CONDITIONS AS PORTIONS OF THE DEMOLITION WORK MAY HAVE SINCE BEEN COMPLETED. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLETE ALL DEMOLITION WORK AS PER PLANS TO REPAIR THE SITE FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS.
 - SEE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 - THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL AND DISPOSAL IN A LOCATION APPROVED BY ALL JURISDICTIONAL GOVERNING AGENCIES OF ALL STRUCTURES, PAVE WALLS, FENCES, FOUNDATIONS, ROADS, PARKING LOTS, DRIVES, GARAGES, STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THESE PLANS CAN BE CONSTRUCTED. ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS. ALL FACILITIES TO BE REMOVED SHALL BE UNDERGUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
 - REFER TO SPECIFICATIONS SHEET FOR DEMOLITION NOTES.



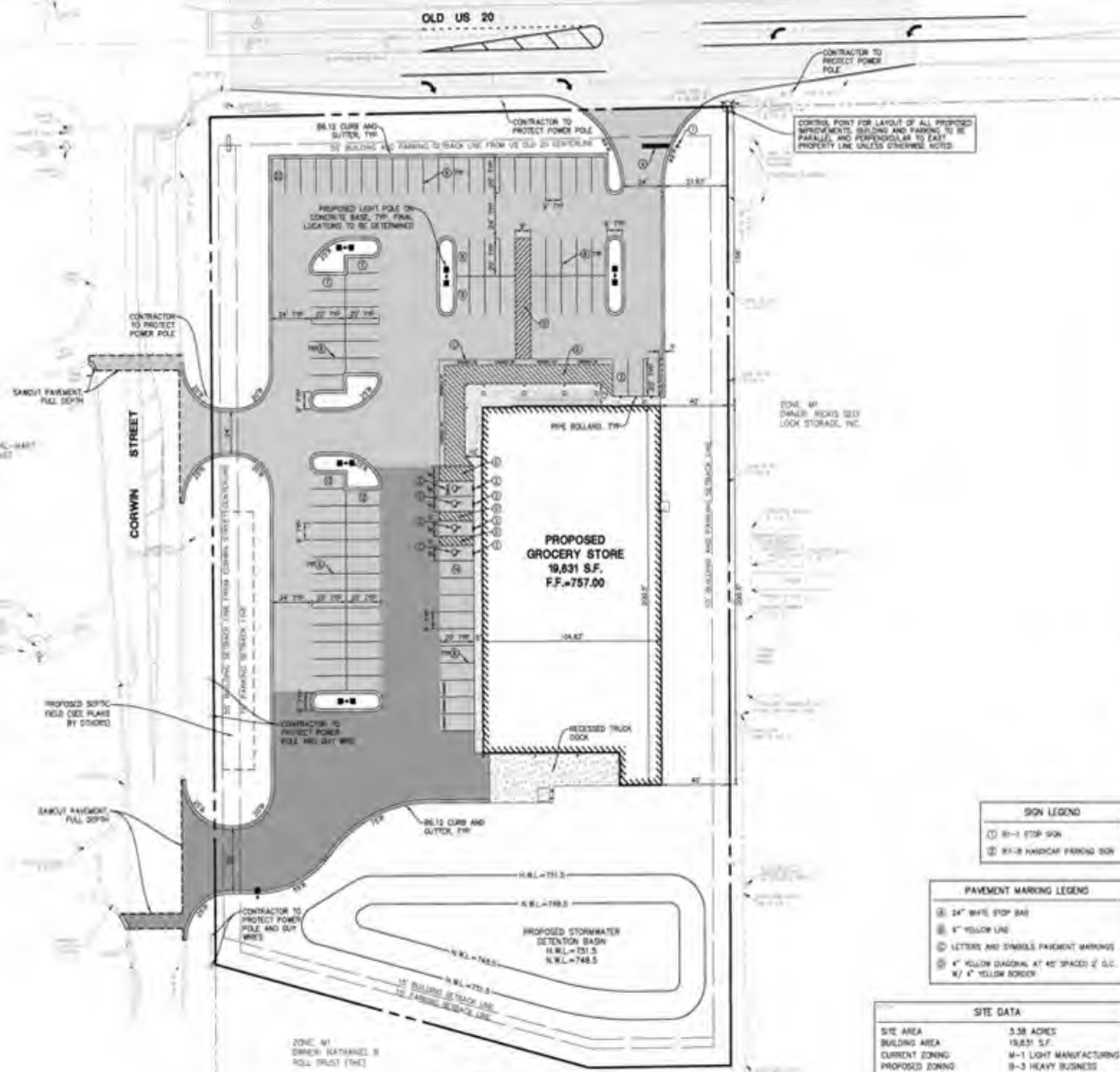
DATE OF ISSUE: 07-20-24
SHEET: 3 OF 9

ZONE M1
OWNER: WPCO LLC

ZONE M1
OWNER: COUNTY OF ELKHART
INDIANA DEPARTMENT OF
ROAD DEVELOPMENT

ZONE M1
OWNER: KLOTT DONALD L
AND BARBARA S

ZONE M1
OWNER: LIFE INVESTMENTS, INC
**SEE SHEET 3 FOR OFFSITE
ROADWAY IMPROVEMENTS**



CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION OF SIDEWALKS, SIDEWALK BORDERING THE TRACKING, CURBS, ETC. DIMENSIONS OF VEHICLES, RAMPY AND TRUCK DOORS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS

- SEE DIMENSIONAL AND PAVING NOTES**
1. ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB ON BUILDING FOUNDATION UNLESS NOTED OTHERWISE.
 2. ALL PROPOSED CURB AND GUTTER SHALL BE 36" HIGH UNLESS OTHERWISE NOTED.
 3. ALL CURB RASH SHALL BE 4" MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 4. ALL PROPOSED CURB AND GUTTER TO EXISTING CURB AND GUTTER WITH 2"-8" BARS X 4" LONG DOWELED INTO EXISTING CURB.
 5. BUILDING DIMENSIONS AND ADJACENT PAVING HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE, CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND VERIFY THE ARCHITECT AND ENGINEER IF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. BUILDING DIMENSIONS SHALL NOT BE USED FOR CONSTRUCTION LAYOUT OF BUILDING.
 6. IMPROVEMENTS ADJACENT TO BUILDING, IF SPACING SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBS, FENCES, LANDSCAPE, RAMPY, HANDICAP ACCESS, PLANTING, CLAMPINGS, AND TRANSITIONS, ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION, SPECIFICATIONS, AND DETAILS.
 7. LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DRIVEWAY. CONTRACTOR TO VERIFY ACTUAL BUILDING PLANS LOCATIONS WITH ARCHITECT/ENGINEER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 8. ALL ROADWAY AND PARKING LOT BORDERS, STRIPING, MARKING, ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL ENTITY DETAILS.
 9. SOME EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 10. PROVIDE EXPRESSED CURB AND RAMP AT ALL HANDICAP ACCESSIBLE SIDEWALK AND PATH LOCATIONS PER FEDERAL AND STATE STANDARDS.
 11. THE CONTRACTOR SHALL CONTACT 811 (1-800-362-0444) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONTACT WITH THE PROPOSED IMPROVEMENTS.
 12. ALL ROADWAY AND PARKING LOT IMPROVEMENTS SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND AIRPORT CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF INDIANA, LATEST EDITION.

PAVEMENT LEGEND

- STANDARD DUTY SURFACING
- HEAVY DUTY PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- GRASS PAVEMENT
- GRASS MULCH AND DRISLAY

REFER TO GEOTECHNICAL REPORT AND COUNTY DETAILS FOR REQUIRED PAVEMENT SECTIONS

SIGN LEGEND

- Ⓢ 8'-1 STOP SIGN
- Ⓢ 8'-8 HANDICAP PARKING SIGN

PAVEMENT MARKING LEGEND

- Ⓢ 24" WHITE STOP BAR
- Ⓢ 4" YELLOW LINE
- Ⓢ LETTERS AND SYMBOLS PAVEMENT MARKINGS
- Ⓢ 4" YELLOW DIAGONAL AT 45° SPACES 2' O.C.
- Ⓢ 4" YELLOW BORDER

SITE DATA

SITE AREA	3.28 ACRES
BUILDING AREA	19,631 S.F.
CURRENT ZONING	M-1 LIGHT MANUFACTURING
PROPOSED ZONING	B-3 HEAVY BUSINESS
PROPOSED USE	RETAIL AND SERVICE
PARKING REQUIRED	85 SPACES
STANDARD PARKING PROVIDED	89 SPACES
CURBSIDE PICKUP PROVIDED	3 SPACES
HANDICAP PROVIDED	4 SPACES
TOTAL PARKING PROVIDED	96 SPACES
PARKING RATIO	4.89 SPACES/1,000 S.F.

SHEET NO. 30-30-31
 DATE 12-20-21
 SCALE 1"=30'
 DRAWN BY JML
 CHECKED BY JML
 DESIGNED BY JML
 PROJECT NO. 2021-0001

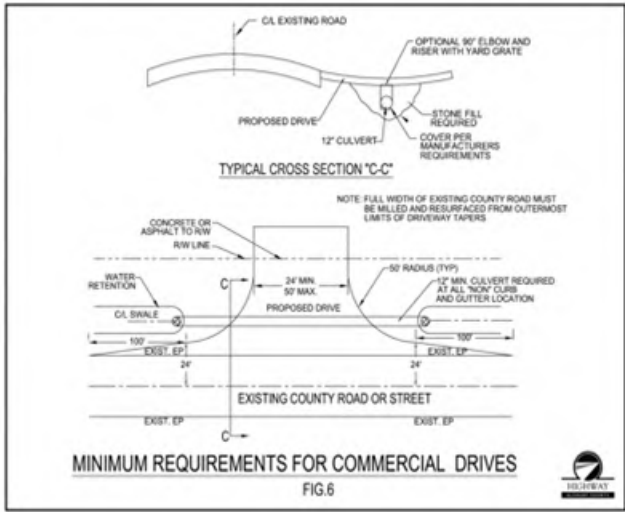
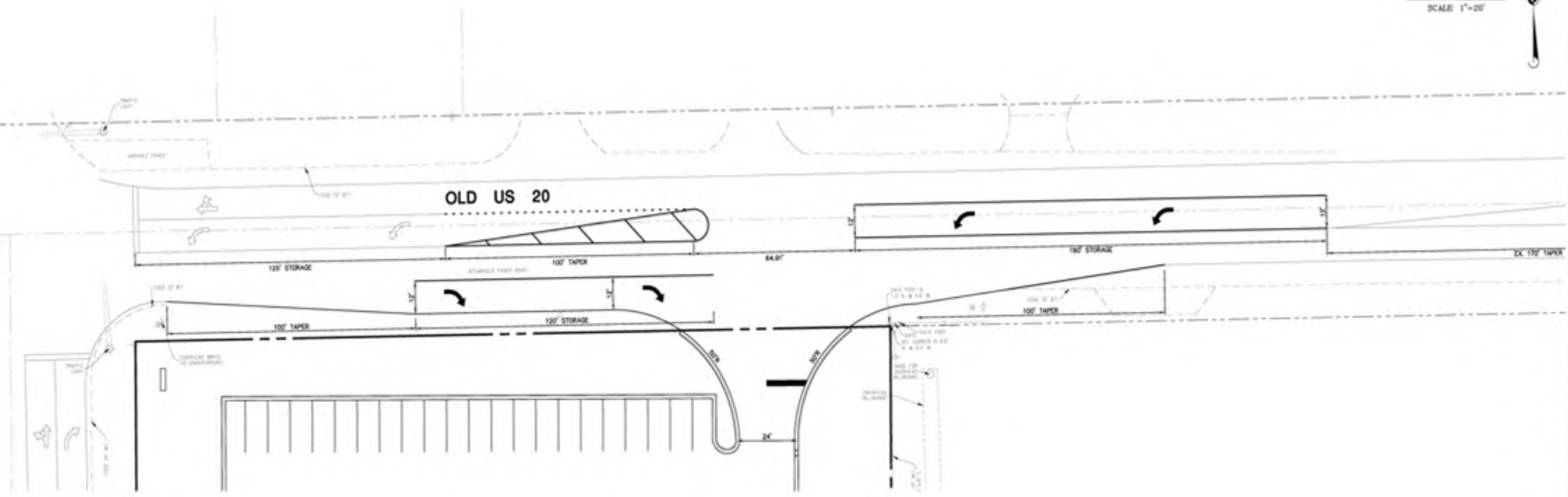


ALDI FOOD MARKET
 ELKHART COUNTY, INDIANA
 PRELIMINARY SITE DIMENSIONAL AND PAVING PLAN

ALDI FOOD MARKET
 ELKHART COUNTY, INDIANA
 PRELIMINARY SITE DIMENSIONAL AND PAVING PLAN

STEPHEN L. MANHARD
 PE
 STATE OF INDIANA
 PROFESSIONAL ENGINEER

SHEET
4 OF 9
 DRAWING



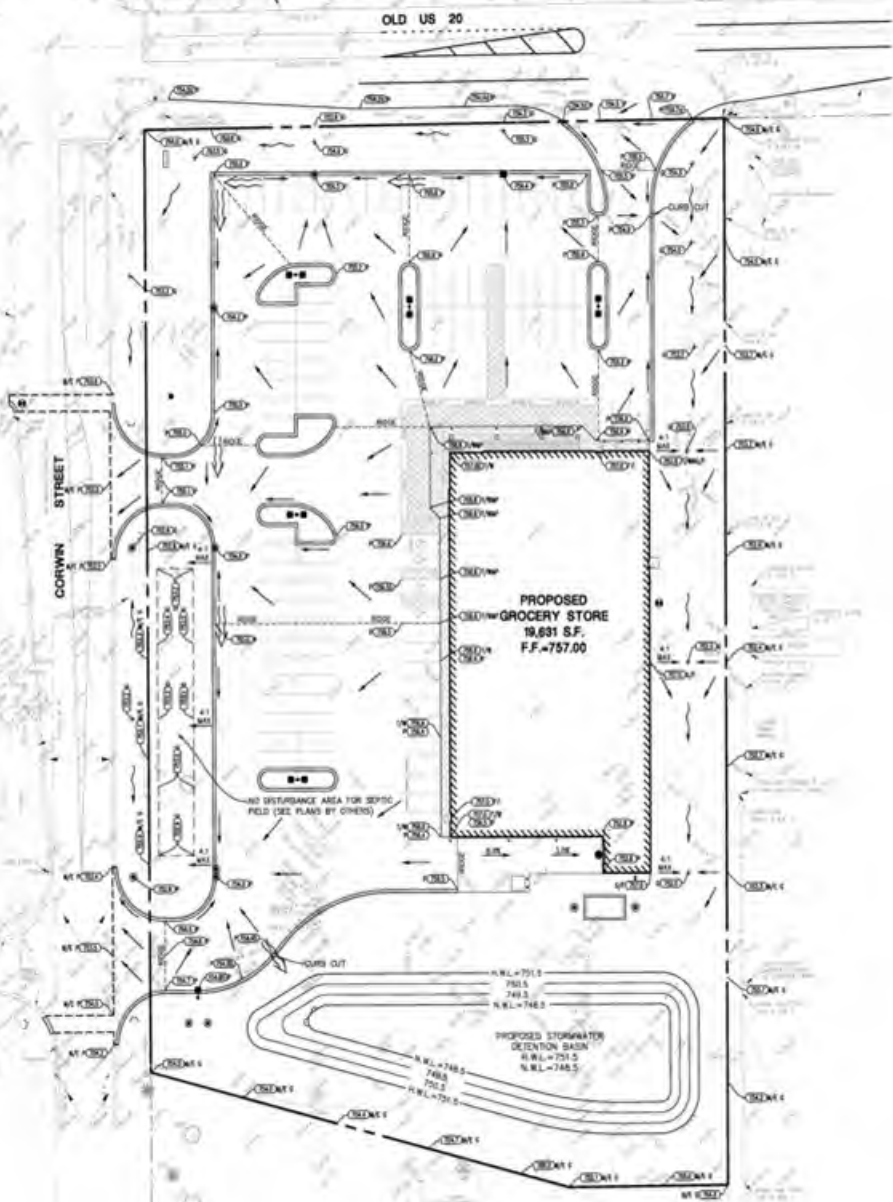
PROJECT	
DATE	
SCALE	
SHEET	
TOTAL SHEETS	
DESIGNED BY	
CHECKED BY	
DATE	
PROJECT NO.	
DRAWING NO.	
SCALE	
SHEET	
TOTAL SHEETS	

Manhard CONSULTING
 1000 N. W. 10th St., Suite 1000, Ft. Lauderdale, FL 33304
 Phone: (954) 561-1000 Fax: (954) 561-1001
 Email: info@manhard.com
 Services: Transportation Planning • Environmental Remediation • Landmarks Architecture • Planning

ALDI FOOD MARKET
 ELKHART COUNTY, INDIANA
 PRELIMINARY HIGHWAY ENTRANCE GEOMETRIC PLAN

PROJECT NO. 205
 SHEET NO. 205
 DATE 07-26-24
 SCALE 1\"/>

SHEET
5 OF **9**
 (REDLINE)



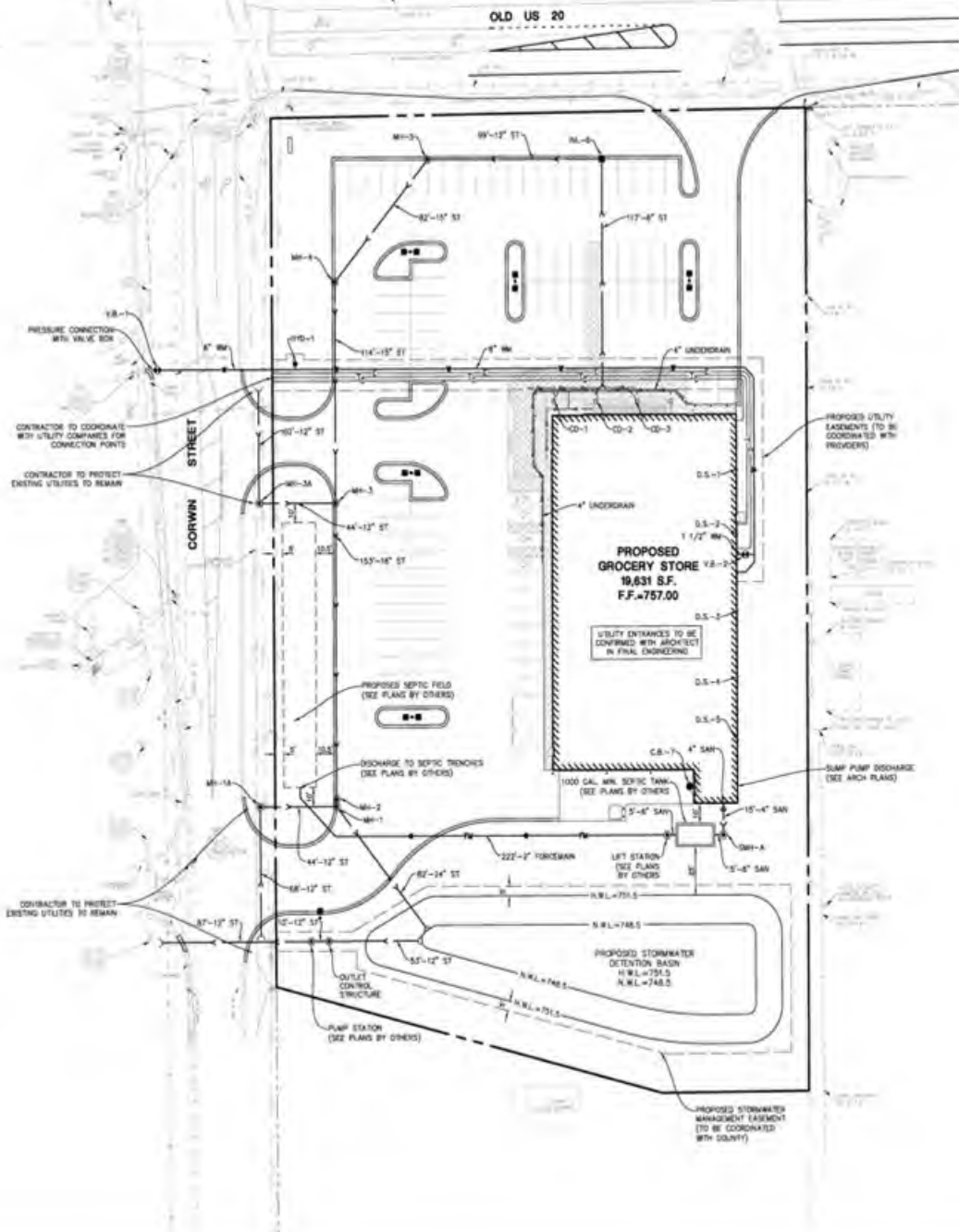
GRADING PLAN LEGEND

	PROPOSED 1 FOOT CONTOURS
	PROPOSED SPOT ELEVATION
	PROPOSED FINISHED FLOOR ELEVATION
	PROPOSED GRADE AT FOUNDATION
	PROPOSED PAVEMENT ELEVATION
	PROPOSED TOP OF CURB
	PROPOSED TOP OF WALL
	PROPOSED TOP OF RAIL
	MEET EXISTING
	PROPOSED GROUND MARK ON GROUND
	PROPOSED MARK ON WALL
	PROPOSED DIRECTION OF FLOW
	OVERFLOW RELIEF VALVE
	PROPOSED CURB LINE
	PROPOSED DEPTH OF PONDING
	PROPOSED SWALE ON POINT
	PROPOSED SWALE TURNOUT

- GRADING NOTES:**
- PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.0% MAXIMUM IN ANY DIRECTION.
 - ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.0% OR LESS.
 - MEET EXISTING GRADE AT PROPERTY LIMITS (UNLESS NOTED OTHERWISE).
 - CONTRACTOR SHALL REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLAN AND DETAILS FOR CONSTRUCTION SCHEDULING AND EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO BEGINNING GRADING OPERATIONS.
 - THE CONTRACTOR SHALL CONTACT THE (REG.-MIS.-S&M) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE IMPROVEMENTS SHOWN ON THE PLANS.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
 - ALL UNPAVED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 6" MINIMUM OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 OR STEEPER. CONTRACTOR SHALL STABILIZE EXPOSED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
 - EXISTING TOPOGRAPHY SHOWS REMOTE SITE CONDITIONS AS PREPARED BY MANHARD CONSULTING ON MAY 24, 2024. CONTRACTOR SHALL FIELD CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
 - TRANSFORMING FROM SUPPRESSED CURB TO FULL HEIGHT CURB SHALL BE TAPERED AT 20:1 UNLESS OTHERWISE NOTED.
 - EXCAVATION, GRADING, AND COMPACTION TO BE COMPLETED IN ACCORDANCE WITH RECOMMENDATIONS OF GEOTECHNICAL REPORT.



DATE: 08-20-24
 SHEET: 1 of 2



OLD US 20



- UTILITY NOTES:**
1. ALL UTILITY DIMENSIONS ARE TO CENTER OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
 2. BUILDING DIMENSIONS AND ADJACENT UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION SUBMITTED AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND OWNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL CONTACT BY (801-392-3444) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD LOCATIONS APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 4. ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES IF SHOWN ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
 5. CONTRACTOR SHALL EXCAVATE AND VERIFY ALL EXISTING SEWER, WATER MAIN AND GRY UTILITY LOCATIONS, SIZES, CONDITIONS & ELEVATIONS AT PROPOSED POINTS OF CONNECTION AND DISSEMINATE PRIOR TO ANY UNDERGROUND CONSTRUCTION AND ACCEPT THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
 6. LIGHTING AND UNDERGROUND CABLE IF SHOWN ON PLANS ARE FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS AND DETAILS.
 7. THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED FINISH GRADES.
 8. CONTRACTOR TO VERIFY LOCATION, SIZES, AND ELEVATION OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.
 9. AT LOCATIONS WHERE WATER MAIN CROSSED BENEATH OR LESS THAN 18" ABOVE A SEWER, PROVIDE WATER MAIN PROTECTION PER STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN INDIANA, LATEST EDITION.
 10. ELEVATIONS GIVEN FOR STORM SEWER STRUCTURES LOCATED IN CURB LINE ARE FINISH ELEVATIONS.
 11. ALL WATER MAIN SHALL BE 2'-6" BELOW FINISH GRADE TO TOP OF MAIN UNLESS NOTED OTHERWISE.
 12. ALL EXISTING UTILITIES SHOWN ARE NOT TO BE INTERFERED AS THE EXACT ELEVATION OR LOCATION, OR AS THE ONLY OBSTACLE THAT MAY OCCUR ON THE SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES.
 13. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HERE ON IS BASED IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED.
 14. ALL SANITARY AND STORM SEWER LENGTHS SHOWN ARE CENTER TO MANHOLE TO CENTER OF MANHOLE OR STORM MANHOLE TO TIE.
 15. PROVIDE CONCRETE COLLARS FOR ALL DRAINAGE STRUCTURES IN PAVEMENT, NOT ADJACENT TO CURB. SEE CONCRETE COLLAR DETAIL ON DETAIL SHEET.
 16. CONTRACTOR SHALL CORE AND BOOT ALL PIPE ENTRANCES TO EXISTING SANITARY MANHOLES.
 17. EXTERNAL CHIMNEY SEALS ARE REQUIRED ON PROPOSED AND ADJACENT EXISTING SANITARY MANHOLES.
 18. SOME EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 19. ALL 6" WATERMAIN PIPE AND 3" WATERMAIN FITTINGS SHALL BE WRAPPED.
 20. ALL UNDERGROUND IMPROVEMENTS SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN INDIANA AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF INDIANA. IN THE EVENT OF CONFLICTING CIRCUMSTANCES, THE MORE RESTRICTIVE SHALL GOVERN.

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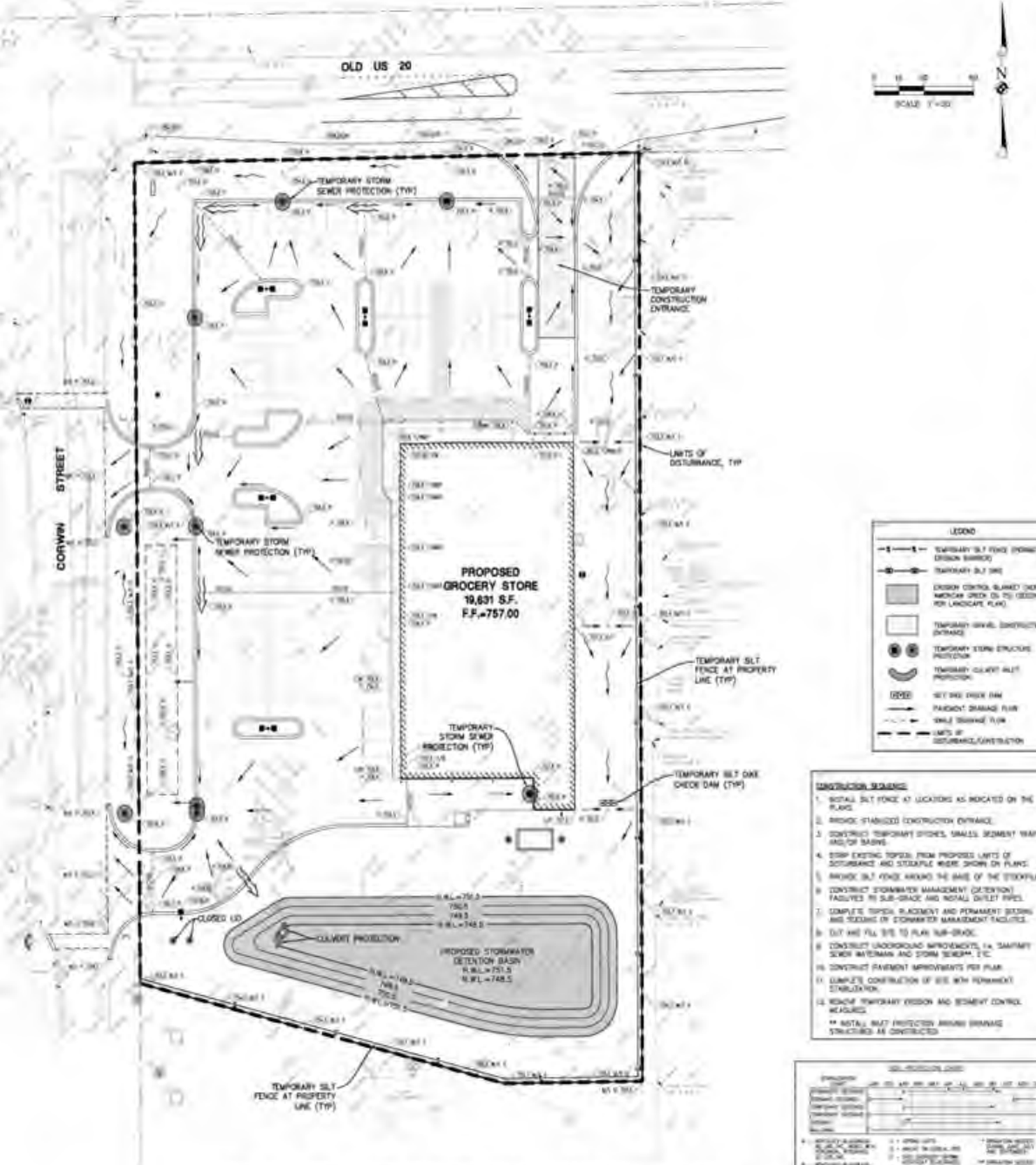
2000 North Meridian Street, Suite 100, Indianapolis, IN 46202
 Tel: 317.341.1111 Fax: 317.341.1112
 www.manhardconsulting.com

ALDI FOOD MARKET
 ELKHART COUNTY, INDIANA
 PRELIMINARY UTILITY PLAN

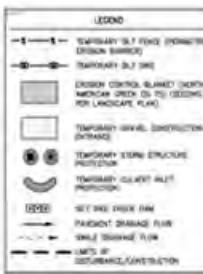


DATE: 07-30-24
 DRAWN BY: JML
 CHECKED BY: JML
 SCALE: 1"=30'

SHEET
7 OF **9**
 PRELIM



OLD US 20



- CONSTRUCTION SEQUENCE**
1. INSTALL SILT FENCE AT LOCATIONS AS INDICATED ON THE PLAN.
 2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.
 3. CONSTRUCT TEMPORARY STOKES, SMALLS, SEDIMENT TRAPS AND/OR BASINS.
 4. ERUP EXISTING TOPSOIL FROM PROPOSED LIMITS OF DISTURBANCE AND STOCKPILE WHERE SHOWN ON PLAN.
 5. AROUND SILT FENCE AROUND THE BASE OF THE STOCKPILE.
 6. CONSTRUCT STORMWATER MANAGEMENT (DETENTION) FACILITIES IN SUB-GRADE AND INSTALL DRAINLET PIPEL.
 7. COMPLETE TOPSOIL REPLACEMENT AND PERMANENT SEEDING AND STABILIZE BY CONSTRUCTION MANAGEMENT FACILITIES.
 8. SILT AND FILL SITE TO PLAN SUB-GRADE.
 9. CONSTRUCT UNDERGROUND INFRASTRUCTURE, i.e. STORMWATER SEWER MAINS AND STORM SEWER, ETC.
 10. CONSTRUCT PAVEMENT IMPROVEMENTS PER PLAN.
 11. COMPLETE CONSTRUCTION OF SITE WITH PERMANENT STABILIZATION.
 12. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES.
- ** INSTALL SILT PROTECTION ARRANGING SEQUENTIAL AS CONSTRUCTED.

CONSTRUCTION SCHEDULE

Activity	Start Date	End Date
Site Preparation	08/20/2024	09/10/2024
Foundation Work	09/10/2024	09/25/2024
Structure Construction	09/25/2024	10/15/2024
Interior Finishes	10/15/2024	11/10/2024
Site Stabilization	11/10/2024	11/15/2024
Final Inspection	11/15/2024	11/15/2024

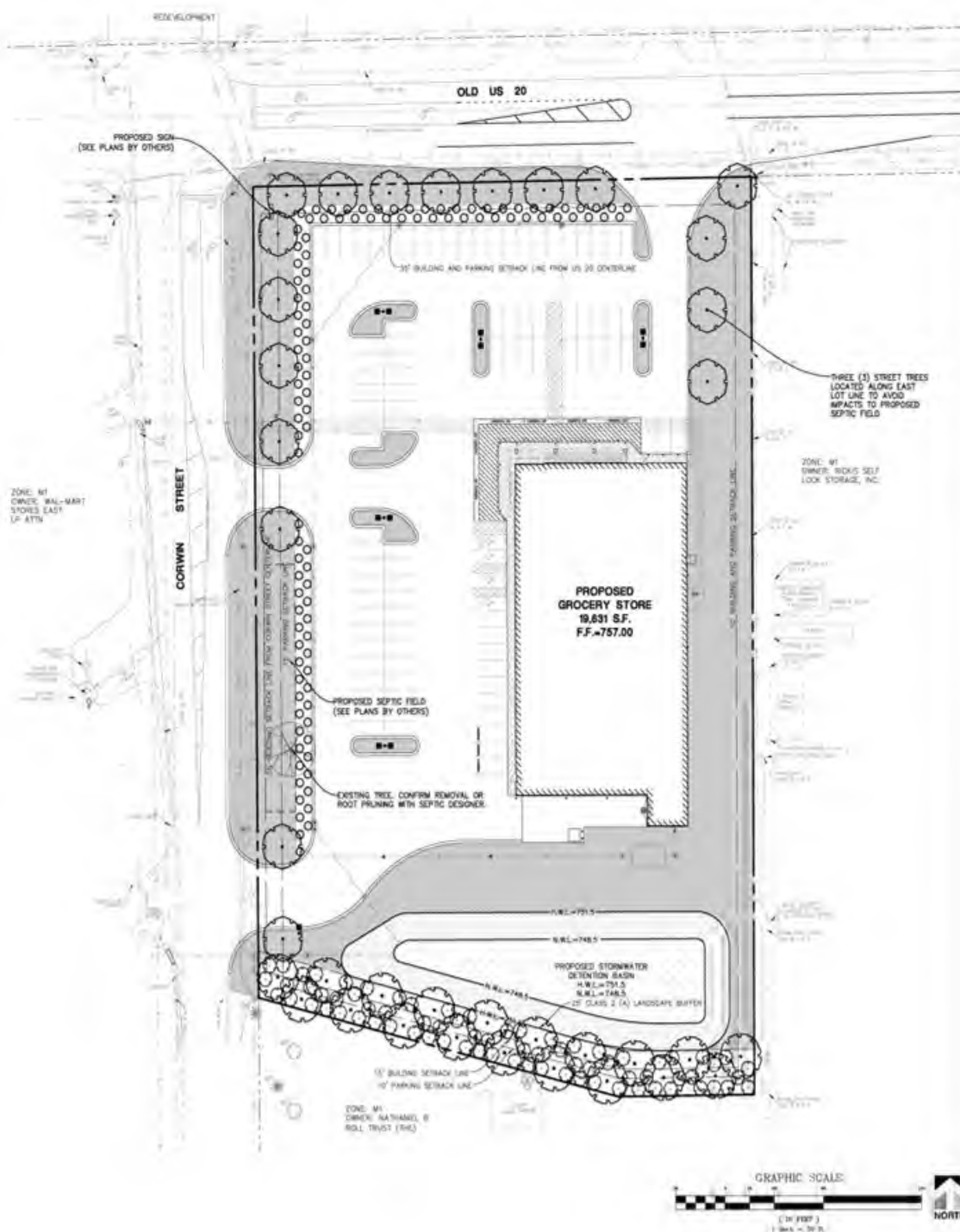
- VI. EROSION AND SEDIMENTATION CONTROL GENERAL NOTES**
1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE "NEW CONSTRUCTION SITE EROSION AND SEDIMENTATION CONTROL PLAN".
 2. MAINTENANCE AND REPLACEMENT OF EROSION CONTROL ITEMS WHEN DIRECTED BY THE OWNER SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.
 3. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WHEN 24 HOURS OF THE END OF A STORM THAT IS 1/4 INCH OR GREATER OF EQUIVALENT SNOWFALL, WHEN THE SOIL MOISTURE AND THERE IS POTENTIAL FOR EROSION. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF SAID MEASURES SHALL BE MADE IMMEDIATELY. FOR EACH OCCURRING DURING THE WATER, AN INSPECTOR MUST BE CONDUCTED DURING THE STORM, ONCE PER DAY OR WHEN THE SEDIMENTING OCCURS AND DOCUMENTED AND REPORT IN THE SWPPP RECORDS.
 4. INSTALL ALL PERMITS SILT FENCE PRIOR TO ANY CLEARING OR GRADING. SLOTTED SEDIMENT CONTROL MEASURES AS DESIGNATED AND SPECIFIED BY THE EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE CONSTRUCTED AND FUNCTIONAL PRIOR TO STARTING CLEARING, GRADING, EXCAVATING, OR OTHER FIELD ACTIVITIES OF THE SITE.
 5. STORM WATER FALLING ON THE ENTIRE SITE SHALL BE DIRECTED INTO THE DETENTION BASIN PRIOR TO BEGINNING MASS EXCAVATION. THE CONTRACTOR SHALL CONSTRUCT SEDIMENT TRAPS, SMALLS, SEDIMENTATION TRAPS AND SEDIMENT CONTROL MEASURES AS REQUIRED TO PREVENT SURFACE WATER FROM THE SITE FROM ADJACENT PROPERTY AND COMPLY THERE TO THE DETENTION BASIN.
 6. IF STORMWATER DETENTION IS NOT REQUIRED THE CONTRACTOR SHALL CONSTRUCT BENCHES, SMALLS, SEDIMENT TRAPS AND SEDIMENT CONTROL MEASURES AS REQUIRED TO PREVENT SURFACE WATER BEFORE THEY OVER DATE ADJACENT PROPERTY.
 7. STABILIZATION OF DISTURBED AREAS MUST BE INITIATED IMMEDIATELY UPON COMPLETION OF EXCAVATING OR OTHER EARTH MOVING ACTIVITIES. SOIL PROTECTION SHALL BE MAINTAINED ON ALL EXPOSED AREAS OF THE SITE AND SHALL NOT BE REMOVED FOR A PERIOD EXCEPT 14 CALENDAR DAYS. STABILIZATION OF DISTURBED AREAS MUST BE INITIATED WITHIN A REASONABLE DAY OF PERMANENT OR TEMPORARY OCCUPATION OF LAND. EXISTING ACTIVITIES MUST BE COMPLETED AS SOON AS POSSIBLE BUT NOT LATER THAN 14 DAYS FROM THE INTENTION OF STABILIZATION WORK IN AN AREA.
 8. TEMPORARY SEED MATING SHALL BE APPLIED AT 24 HOURS.
 9. SILT PROTECTION SHALL BE INSTALLED UNDER THE DESIGN OF EACH SEDIMENT STRUCTURE.
 10. STABILIZATION OF TOPSOIL STOCKPILES SHALL BE INITIATED IMMEDIATELY UPON COMPLETION. MEASURES THAT WILL BE INSTALLED WITHIN FOURTEEN (14) CALENDAR DAYS. STABILIZATION OF STOCKPILE MUST BE INITIATED WITHIN 7 WORKING DAYS OF PERMANENT OR TEMPORARY OCCUPATION OF LAND. EXISTING ACTIVITIES MUST BE COMPLETED AS SOON AS POSSIBLE BUT NOT LATER THAN 14 DAYS FROM THE INTENTION OF STABILIZATION WORK IN AN AREA. ALL SOIL STOCKPILE PILES SHALL BE PROTECTED FROM EROSION WITH SILT FENCE ON THE DOWN SLOPE SIDE OF THE PILES.
 11. SEDIMENTING DISCHARGES SHALL BE MONITORED THROUGH A SEDIMENT CONTROL TRAP, SEDIMENT TRAP OR BASIN. PUMPED WATER FILTER BARS SHOULD BE ARRANGED DISCHARGES WITH VISUAL CLARITY. THE DISCHARGE SHALL NOT INCLUDE VISIBLY FLOATING SOLIDS OF FOAM. THE DISCHARGE MUST NOT CAUSE THE FORMATION OF A MOIST SHEEN ON THE WATER SURFACE, OR VISIBLY OIL DEPOSITS ON THE BOTTOM OR SIDEWALLS OF THE RECEIVING WATER OR OIL-WATER SEPARATOR OR DRAINAGE. FILTRATION DEVICE SHALL BE USED TO TREAT OIL, GREASE, OR OTHER SOLUBLE PRODUCTS IF DETECTING WATER IS FOUND TO OR EXPECTED TO CONTAIN THESE MATERIALS. TO THE EXTENT FEASIBLE, USE WELL-VEGETATED BANKS (OR BUNDLES) OF UPLAND AREAS OF THE SITE TO IMPROVE SEDIMENTING WATER BEFORE DISCHARGE. VISUAL MONITORING BARRIERS ARE TO BE INSTALLED IN PROPORTION TO MAINTAIN SEDIMENTING. RELATED FROGON AND RELATED NONPOINT DISCHARGES. USE STABLE EROSION RESISTANT SURFACES (i.e. WELL-VEGETATED BANKS) TO DISCHARGE FROM SEDIMENTING CONTROL S. DO NOT PLACE SEDIMENTING CONTROL, SUCH AS PUMPED WATER FILTER BARS IN STREET ALLEYS (10% OR GREATER IN GRADE). RAINWATER PILES (PILES) TO BE REMOVED CLEAN. ANY FILTERS USED AS PART OF STORMWATER TREATMENT MUST BE PROPERLY TREATED OR PAID OFF-SITE FOR DISPOSAL. SEDIMENTING TREATMENT DEVICES SHALL BE PROPERLY MAINTAINED.
 12. SLOTTED CONTROL SHALL BE PERFORMED ON A DAILY BASIS (HIGH WATER EXCEPTED) FROM A 2000-WAISTED TANK WITH STANDARD DISCHARGE HEADER TO PROVIDE A UNIFORM RATE OF APPLICATION.
 13. TEMPORARY DRAINAGE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED, ADAPTED OR RELOCATED AS NECESSARY TO PREVENT SEDIMENT FROM BEING TRAPPED ON PUBLIC ROADS. ANY SEDIMENT TRAPPING AT PUBLIC ROAD SHALL BE REMOVED BY SHOWERS OF STREET CLEANING BEFORE THE END OF EACH WORKING DAY.
 14. ANY LOOSE MATERIAL THAT IS EXPOSED IN THE FLOW LINE OF ANY DITCH OR DRAINAGE STRUCTURE DURING CONSTRUCTION OPERATIONS SHALL BE REMOVED AT THE CLOSE OF EACH WORKING DAY.
 15. CHANNEL FLOW SHALL BE DIRECTED TO THE DETENTION BASIN PRIOR TO LEAVING THE SITE.
 16. THE EROSION CONTROL MEASURES INDICATED ON THE PLAN AND THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE CLIENT OR OTHER APPLICABLE GOVERNMENTAL AGENCIES.
 17. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE REMOVED AND DEPOSED OF IN ACCORDANCE WITH ALL APPLICABLE GOVERNMENTAL AGENCY REQUIREMENTS WITHIN 30 DAYS OF FINAL STABILIZATION.

THESE EROSION CONTROL PLANS ARE A PORTION OF THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (IDEM) TOTAL REQUIREMENTS FOR A COMPLETE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AS REQUIRED BY THE INDIANA CONSTRUCTION STORMWATER GENERAL PERMIT (CSGP). CLIENT AND/OR CONTRACTOR WILL BE RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL PERMIT AND COMPLETION OF THE COMPLETE SWPPP.

Manhard CONSULTING
 1000 N. College Avenue, Suite 1000
 Elkhart, Indiana 46516
 Phone: 765.561.1111
 Fax: 765.561.1112
 Email: info@manhardconsulting.com

ALDI FOOD MARKET
 ELKHART COUNTY, INDIANA
 PRELIMINARY SOIL EROSION AND SEDIMENT CONTROL PLAN





CONCEPT PLANT SCHEDULE

	STREET TREE	18
	BUFFER TREE	19
	EXISTING TREE TO BE PRESERVED	1
	PARKING LOT BUFFER SHRUB	104
	BOUNDARY BUFFER SHRUB	74
	TURF (SEED OR SOO PER OWNER PREFERENCE)	44,072 sf
	STORMWATER SEED MIX	7,781 sf
	WETLAND EMERGENT SEED MIX	8,110 sf

Elkhart County Indiana Required Landscaping

STREET TREE REQUIREMENT
Requirement: ROW's must be landscaped with grass and trees
On Plan - 18 Trees provided (at 40' spacing)

BUFFERING & SCREENING
Requirement: Proposed Property B3 Underlying zoning: M1 adjacent to North, West and East. Residential homes to South. South Property Requires Buffer Class 2. Other sides don't require a buffer. Screening options include:
Class 2 A - 25' wide with 6 trees per 100' and 24 shrubs per 100', no barrier
Class 2 B - 15' wide with 3 trees per 100' and 8 shrubs per 100',Opaque Fence
Class 2 C - 10' wide with 3 trees per 100', zero shrubs and a Masonry Wall
When fence required, planting to be provided on adjacent property side. Trees must be 8' H at planting. Shrubs shall be 4' H at planting and evergreen.
Landscaping details must be screened from residential properties.
308.36 LF South Property / 100 = 3.09 units
Class 2A = 3.09 x 8 trees = 15.54 (16 Trees)
Class 2A = 3.09 x 24 shrubs = 74.16 (74 Shrubs)
Required - 19 Trees and 74 Shrubs
On Plan - 18 Trees and 74 Shrubs

PARKING LOT LANDSCAPING
A landscape strip shall be provided around the perimeter of the parking lot.
- When the lot abuts a ROW or Residential use, the strip shall be 10' and consist of a 4' H, evergreen hedge, wall, or berm.
On Plan - Meets code per ordinance rules and illustration



Manhard CONSULTING
1000 E. 10th Street, Suite 100, Elkhart, IN 46517
Tel: 765.291.1111 Fax: 765.291.1112
www.manhardconsulting.com

ALDI FOOD MARKET
ELKHART COUNTY, INDIANA
PRELIMINARY LANDSCAPE PLAN

DATE: 08/08/2023
TIME: 10:00 AM
SCALE: 1" = 40'

SHEET 9 OF 9
WHEELER

DPUD Narrative

for

Proposed Grocery Store
30690 Old US Route 20
Elkhart County, Indiana

Prepared by:

Andrew Johnson – Project Manager
630-617-9124
ajohnson@insiterealestate.com

InSite Real Estate
1400 16th Street, Suite 300
Oak Brook, IL 60523
Phone: (630) 617-9100

Engineer:

John Sander, PE – Project Manager
847.325.7281
jsander@manhard.com

Manhard Consulting, Ltd.
One Overlook Point, Suite 290
Lincolnshire, IL 60069
(847) 634-5550

August 23, 2024

LEGAL DESCRIPTION OF REZONING AREA:

OVERALL SURVEYED PROPERTY:

THAT PART OF LOTS 1 AND 2 IN RIVER LEA SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 37 NORTH, RANGE 4 EAST OF THE SECOND PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 9, 1951, ON PAGES 98 AND 99 IN PLAT BOOK 3 IN THE OFFICE OF THE RECORDER OF ELKHART COUNTY, INDIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND IRON ROD WITH A "PROGRESSIVE FIRM 0111" CAP AT THE NORTHWEST CORNER OF SAID LOT 1, SAID POINT ALSO BEING THE EAST RIGHT OF WAY LINE OF CORWIN STREET AND THE SOUTH RIGHT OF WAY LINE OF OLD US 20; THENCE NORTH 88 DEGREES 56 MINUTES 59 SECONDS EAST, ALONG THE SOUTH RIGHT OF WAY LINE OF OLD US 20, A DISTANCE OF 304.00 FEET TO A FOUND IRON ROD WITH A "PROGRESSIVE FIRM 0111" CAP AT THE NORTHEAST CORNER OF SAID LOT 1; THENCE SOUTH 00 DEGREES 14 MINUTES 36 SECONDS EAST, ALONG THE EAST LINE OF SAID LOTS 1 AND 2, A DISTANCE OF 507.15 FEET TO A FOUND IRON ROD WITH A "PROGRESSIVE FIRM 0111" CAP AT A POINT 207.71 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 89 DEGREES 12 MINUTES 20 SECONDS WEST, A DISTANCE OF 83.31 FEET TO A FOUND IRON ROD WITH A "PROGRESSIVE FIRM 0111" CAP; THENCE NORTH 76 DEGREES 01 MINUTE 49 SECONDS WEST A DISTANCE OF 226.05 FEET TO A 5/8" IRON ROD AT A POINT ON THE WEST LINE OF LOT 2, SAID POINT BEING 149.09 FEET SOUTH OF THE NORTH LINE OF SAID LOT 2; THENCE NORTH 00 DEGREES 26 MINUTES 20 SECONDS WEST, ALONG THE WEST LINE OF SAID LOTS 1 AND 2 (ALSO BEING THE EAST RIGHT OF WAY LINE OF CORWIN STREET), A DISTANCE OF 448.17 FEET TO THE POINT OF BEGINNING.

CONTAINING 147,207 SQUARE FEET (3.379 ACRES) MORE OR LESS

PARCEL 1:

THE NORTH 149.09 FEET BY PARALLEL LINES OF LOT NUMBER 2 AS THE SAID LOT IS KNOWN AND DESIGNATED ON THE RECORDED PLAT OF RIVER LEA, AN ADDITION IN CLEVELAND TOWNSHIP, ELKHART COUNTY, STATE OF INDIANA; SAID PLAT BEING RECORDED IN PLAT BOOK 3 PAGE 98 OF THE RECORDS IN THE OFFICE OF THE RECORDER OF ELKHART COUNTY, STATE OF INDIANA.

SAID PARCEL ALSO DESCRIBED FOR THE PURPOSES OF THIS SURVEY ONLY AS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 2; THENCE NORTH 88 DEGREES 56 MINUTES 59 SECONDS EAST, ALONG THE NORTH LINE OF LOT 2, A DISTANCE OF 302.98 FEET TO THE NORTHEAST CORNER OF LOT 2; THENCE SOUTH 00 DEGREES 14 MINUTES 36 SECONDS EAST, ALONG THE EAST LINE OF LOT 2, A DISTANCE OF 148.84 FEET; THENCE SOUTH 88 DEGREES 56 MINUTES 59 SECONDS WEST, A DISTANCE OF 302.47 FEET TO A POINT ON THE WEST LINE OF LOT 2; THENCE NORTH 00 DEGREES 26 MINUTES 20 SECONDS WEST, ALONG THE WEST LINE OF LOT 2, A DISTANCE OF 148.84 FEET TO THE POINT OF BEGINNING.

CONTAINING 45,054 SQUARE FEET (1.034 ACRES) MORE OR LESS

PARCEL 2:

A PART OF THE NORTH 299.09 FEET, BY PARALLEL LINES, OF LOT NUMBER 2 AS THE SAID LOT IS KNOWN AND DESIGNATED ON THE RECORDED PLAT OF RIVER LEA, AN ADDITION IN CLEVELAND TOWNSHIP, ELKHART COUNTY, STATE OF INDIANA; SAID PLAT BEING RECORDED IN PLAT BOOK 3, PAGE 98 OF THE RECORDS IN THE OFFICE OF THE RECORDER OF ELKHART COUNTY, STATE OF INDIANA, AND BEING DESCRIBED AS: COMMENCING AT A 1/2" PIPE MARKING THE NORTHWEST CORNER OF SAID LOT 2, AND ASSUMING THE NORTH

LINE OF SAID LOT 2 TO HAVE A BEARING OF DUE EAST AND WEST: THENCE SOUTH 00 DEGREES 37 MINUTES 55 SECONDS WEST 149.09 FEET TO A 3/4" PIPE AT THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 89 DEGREES 58 MINUTES 16 SECONDS EAST 302.42 FEET TO A POINT ON THE EAST LINE OF SAID LOT 2; THENCE SOUTH 00 DEGREES 49 MINUTES 01 SECONDS WEST, ON SAID EAST LINE, 58.70 FEET TO A 5/8" CAPPED REBAR; THENCE NORTH 89 DEGREES 52 MINUTES 12 SECONDS WEST 83.19 FEET TO A 5/8" CAPPED REBAR; THENCE NORTH 74 DEGREES 57 MINUTES 59 SECONDS WEST 226.14 FEET TO THE POINT OF BEGINNING.

SAID PARCEL ALSO DESCRIBED FOR THE PURPOSES OF THIS SURVEY ONLY AS:
BEGINNING AT A POINT ON THE WEST LINE OF LOT 2 BEING 148.84 FEET SOUTH OF THE NORTHWEST CORNER OF LOT 2; THENCE NORTH 88 DEGREES 56 MINUTES 59 SECONDS EAST, A DISTANCE OF 302.47 FEET TO THE EAST LINE OF LOT 2, SAID POINT BEING 148.84 FEET SOUTH OF THE NORTHEAST CORNER OF LOT 2; THENCE SOUTH 00 DEGREES 14 MINUTES 36 SECONDS EAST, ALONG THE EAST LINE OF LOT 2, A DISTANCE OF 58.96 FEET; THENCE SOUTH 89 DEGREES 12 MINUTES 20 SECONDS WEST, A DISTANCE OF 83.31 FEET; THENCE NORTH 76 DEGREES 01 MINUTES 49 SECONDS WEST, A DISTANCE OF 226.05 FEET TO THE POINT OF BEGINNING.

CONTAINING 11,315 SQUARE FEET (0.260 ACRES) MORE OR LESS

PARCEL 3:

A PART OF THE SOUTHWEST QUARTER (SW ¼) OF SECTION THREE (3), TOWNSHIP THIRTY-SEVEN (37) NORTH, RANGE FOUR (4) EAST IN CLEVELAND TOWNSHIP, ELKHART COUNTY, INDIANA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID QUARTER SECTION AND RUNNING THENCE SOUTHWARDLY ALONG THE EAST LINE OF SAID QUARTER SECTION FORTY (40) FEET, THENCE WESTWARDLY PARALLEL WITH THE NORTH LINE OF SAID QUARTER SECTION NINE HUNDRED SIXTY-TWO AND SIX HUNDREDTHS FEET (962.06) TO AN IRON STAKE AT THE BEGINNING POINT OF THIS DESCRIPTION, THENCE CONTINUING WESTWARDLY PARALLEL WITH THE NORTH LINE OF SAID QUARTER SECTION THREE HUNDRED FOUR FEET (304) TO AN IRON STAKE THENCE SOUTHWARDLY AND PARALLEL WITH AND FIFTY FEET (50) DISTANT EASTWARDLY THEREFROM THE WEST LINE OF THE EAST HALF (E-1/2) OF SAID QUARTER SECTION THREE HUNDRED FEET (300); THENCE EASTWARDLY PARALLEL WITH THE NORTH LINE OF SAID QUARTER SECTION THREE HUNDRED TWO AND NINE TENTHS FEET (302.9); THENCE NORTHWARDLY PARALLEL WITH THE EAST LINE OF SAID QUARTER SECTION THREE HUNDRED FEET (300) TO THE PLACE OF BEGINNING, CONTAINING TWO AND NINE HUNDREDTHS (2.09) ACRES MORE OR LESS;

SAID PARCEL ALSO KNOWN AS LOT 1 IN RIVER LEA SUBDIVISION RECORDED AUGUST 9, 1951 AS DOCUMENT NO. 178945.

SAID PARCEL ALSO DESCRIBED FOR THE PURPOSES OF THIS SURVEY ONLY AS:
BEGINNING AT THE NORTHWEST CORNER OF LOT 2; THENCE NORTH 88 DEGREES 56 MINUTES 59 SECONDS EAST, ALONG THE NORTH LINE OF LOT 2, A DISTANCE OF 304.00 FEET TO THE NORTHEAST CORNER OF LOT 2; THENCE SOUTH 00 DEGREES 14 MINUTES 36 SECONDS EAST, ALONG THE EAST LINE OF LOT 2, A DISTANCE OF 299.34 FEET; THENCE SOUTH 88 DEGREES 56 MINUTES 59 SECONDS WEST, A DISTANCE OF 302.98 FEET TO THE WEST LINE OF LOT 2; THENCE NORTH 00 DEGREES 26 MINUTES 20 SECONDS WEST, ALONG THE WEST LINE OF LOT 2, A DISTANCE OF 299.33 FEET TO THE POINT OF BEGINNING.

CONTAINING 90,838 SQUARE FEET (2.085 ACRES) MORE OR LESS

DEVELOPMENT PROJECT OVERVIEW:

InSite Real Estate is looking to purchase the properties in unincorporated Elkhart County located at 30690 Old US 20 and 55578 Corwin Road (PIN numbers 20-05-03-326-001.000-005, 20-05-03-326-002.000-005, and 20-05-03-326-003.000-005). The intent is to combine the parcels, rezone as applicable, and develop as one commercial lot to be an Aldi Food Market. The proposed project site would be located at the southeast corner of the intersection of Old US 20 (a principal arterial road for the County) and Corwin Road. The sum of the areas of the parcels is approximately 3.38-acres.

The north half of the proposed project site (30690 Old US 20) is vacant (previously developed as an automobile service station) and the south half (55578 Corwin Rd) is currently developed as single-family residential. The surrounding sites are commercial uses to the north, east, and west and residential uses to the south. A landscape buffer meeting the requirements of Elkhart County will be provided along the south lot line to protect the residential uses from nuisances, thereby incorporating the Aldi seamlessly into the surrounding neighborhood.

DEVELOPMENT PROJECT DETAILS:

Project scope would include erosion and sediment control, demolition of existing buildings/improvements, earthwork operations and mass grading, detention basin excavation, installation of underground utilities (storm sewer, watermain, gas, telephone, electric), construction of a septic field, curbing, pavement and sidewalk, building construction, two new commercial driveways to Corwin Road, a right turn lane and new commercial driveway on Old US 20, restriping of the roadway, and site landscaping/stabilization. The project is anticipated to be constructed in one phase.

The existing impervious coverage (house, sheds, pool, driveways) is approximately 8,100 square feet. The proposed impervious coverage (building, parking lot, driveways, detention basin) would be approximately 81,600 square feet. The building will encompass approximately 19,600 square feet of this total. The parking area will be sized to meet or exceed code (65 spaces required, 96 spaces proposed). A detention basin will be at the southern part of the site, adjacent to the landscape buffer area. Other will be provided from Corwin Road. Aldi anticipates approximately 275 customers and 1 delivery truck per day.

The store will be operated 7 days a week from 8:30am to 8:30pm.

DEVIATIONS FROM ZONING ORDINANCE STANDARDS

There are no proposed deviances from zoning ordinance standards. This DPUD serves to consolidate and rezone the lots for commercial use, not obtain any variances.

WATER AND SANITARY SYSTEMS

The County does not operate public watermain or sanitary sewer in the vicinity of the project area. Well and septic systems are used by surrounding properties. This development proposes a septic system sized appropriately for commercial use. However, due to the sensitive environmental conditions of the site, well water is not feasible. Tory Irwin from the City of Elkhart has agreed to allow a water tap to their public system in Corwin Road.

SOILS

See separate Geotechnical Exploration Report dated July 15, 2024, by CTL Engineering for further details. Per their investigation, the existing soils appear to be undocumented loose fill material over loose sand and silt materials. No groundwater was observed. Infiltration tests yielded an approximate rate of 98 inches per hour. Additional soil borings were taken for the proposed septic system. Refer to report by others for details.

TRAFFIC

Aldi anticipates approximately 275 customers and 1 delivery truck per day. See separate Traffic Impact Study dated July 9, 2024, by KLOA, Inc. for further details. Per their investigation and modeling, "Old

US 20/MiKinley Highway has a posted speed limit of 35 mph and carries an annual average daily traffic (AADT) volume of 9,521 to 12,326 vehicles (InDOT 2023) while “Corwin Road has no posted speed limit [and] carries an AADT of 2,677 vehicles south of Old US 20 (InDOT 2023)”. The proposed conditions are estimated to yield a 10-percent increase in traffic to the area during the Saturday midday peak hour, a two-percent increase during the weekday morning peak hour, and a six-percent increase during the weekday evening peak hour, but the existing intersection has sufficient reserve capacity to accommodate.

The proposed development will provide a new eastbound right turn lane on Old US 20 into the site, striping for a westbound left turn lane on Old US 20 into the site, and restriping of the westbound left turn lane at the Old US 20/Corwin Road intersection. The proposed access system will be adequate in accommodating the traffic estimated to be generated by the proposed Aldi and will ensure efficient and flexible access is provided.

Elkhart County Highway Department comments have been received on 8/23/24 and are still being reviewed and considered for site plan revisions. We would ask that the DPUD process move forward with addressing DOT comments as a condition to the hypothetical approval

STORMWATER

The onsite stormwater management system will be designed to comply with the Elkhart County Street Standards. A storm sewer system designed for the 10-year storm is proposed on site to convey runoff to a proposed detention basin on the southern end of the site. The detention basin will be sized for the 100-year storm event. Driveway culverts and roadside ditches will also be incorporated to maintain existing offsite drainage patterns. The stormwater will outlet to the existing Corwin Street ditch via a pump. A detailed stormwater report and calculations will be provided with final engineering. Preliminary calculation sheets are included with this report.

Below summarizes the design constraints of the proposed stormwater management system:

- Existing Time of Concentration = 36 minutes
- Allowable Release Rate (10-year, undeveloped) = 1.560 cfs
- Required Detention Volume (100-year, developed) = 0.348 ac-ft



TO: Plan Commission

FROM: H. Jason Auvil, Planning Manager & Zoning Administrator

SUB: Approvals of Plan Commission Recommendations

The following petition was **approved** at the August 5, 2024, Elkhart County Commissioner's meeting:

- Petitioner: Martin T. Moser & Faith R. Moser Husband & Wife represented by Abonmarche Consultants
Petition: for the vacation of a portion of an east/west county right-of-way known as CR 152 and for a vacation of a portion of a north/south county right-of-way known as CR 143. (VRW-0379-2024)
Location: east of CR 43 and north of US 6, in Benton Township.
Plat Committee Vote: Yes: 7 No: 0; Absent: 2
Remonstrators Present: No
Development Issues: None

The following petition was **approved** at the August 6, 2024, Town of Wakarusa's meeting:

- Petitioner: G L Clark Inc. represented by Wightman
Petition: for an amendment to an existing DPUD M-2 known as GL CLARK PARK DPUD M-2 for a new building.
Location: east side of SR 19, 2,420 ft. north of CR 42, common address of 66540 SR 19 in Harrison Township. (DPUD-0373-2024)
Plan Commission Vote: Yes: 7; No: 0; Absent: 2
Remonstrators Present: None
Development Issues: None

The following petitions were **approved** at the August 19, 2024, Elkhart County Commissioner's meeting:

- Petitioner: Robert L. Reed & Tane L. Reed, Husband & Wife
Petition: for a zone map change from B-3 and A-1 to A-1.
Location: west side of SR 15, 3,270 ft. north of CR 24, common address of 58977 SR 15 in Jefferson Township. (RZ-0324-2024)
Plan Committee Vote: Yes: 7 No: 0; Absent: 2
Remonstrators Present: No
Development Issues: None



2. Petitioner: Albert Reasonover & Carmen E. Reasonover, Husband & Wife
represented by Wightman
Petition: for a zone map change from R-1 and B-1 to DPUD R-2 and for primary
approval of a 5-lot major subdivision to be known as **REASONOVER'S ASH
ROAD SUBDIVISION**.
Location: east side of Ash Rd., 950 ft. north of Old US 33, common address of 56974
Ash Rd. in Baugo Township. (DPUD-0277-2024)
Plan Committee Vote: Yes: 7 No: 0; Absent: 2
Remonstrators Present: Yes
Development Issues: None
3. Petitioner: Mitch Hawkins represented by Jones Petrie Rafinski
Petition: for a zone map change from A-1 to DPUD A-1 and for primary approval a 1-
lot minor subdivision to be known as **HAWKINS DETAILED PLANNED
UNIT DEVELOPMENT**.
Location: west side of SR 13, 3,450 ft. south of SR 120, common address of 53829 SR
13 in York Township. (DPUD-0381-2024)
Plan Committee Vote: Yes: 7 No: 0; Absent: 2
Remonstrators Present: No
Development Issues: None
4. Petitioner: North Trace RV Resort LLC represented by Surveying and Mapping LLC
Petition: for a zone map change from GPUD B-3 to DPUD B-3 and for primary
approval of a 1-lot minor subdivision to be known as **NORTH TRACE RV
RESORT DPUD B-3**.
Location: west side of CR 29, 1,240 ft. south of CR 56, common address of 72987 CR
29 in Benton Township. (DPUD-0374-2024)
Plan Committee Vote: Yes: 7 No: 0; Absent: 2
Remonstrators Present: Yes
Development Issues: There were concerns about potential crowds with associated disorderly
activities (trespassing, noise, etc), increases in traffic, and impact
and/or encroachment on wetlands.